CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

PROJECT TEAM

OWNER
PERFECT WEALTH INVESTMENT LLC
1641 EVERGREEN POINT ROAD,
MEDINA, WA 98039

PHONE: (425) 785-9853
CONTACT: GUANGHUI LIU
EMAIL: LGHXVWZ@HOTMAIL.COM

GEOTECH
MERIT ENGINEERING INC
10129 Main St., #201
BELLEVUE, WA 98004

PHONE: 425-454-2133
CONTACT: ALEX
EMAIL: merit@MeritEngineering.com

ARCHITECT
AXIS | GFA
801 BLANCHARD STREET, SUITE 200
SEATTLE, WA 98121

PHONE: 206.367.1382
CONTACT: Marsha Mawer-Olson
EMAIL: Mmawer-olson@axisgfa.com

TRAFFIC AND TRANSPORTATION ENGINEER
GIBSON TRAFFIC CONSULTANTS, INS
2813 Rockefeller Avenue, Suite B,
Everett, WA 98201

PHONE: 425-339-8266
CONTACT: Contact
EMAIL: info@gibsontraffic.com

LANDSCAPE ARCHITECT
JGM LANDSCAPE ARCHITECTS INC.
12610 N.E. 104TH STREET
KIRKLAND, WA 98033

PHONE: (425) 454-5723
CONTACT: CRAIG LEWIS
EMAIL: CRAIG@JGM-INC.COM

STRUCTURAL
LUND OPSAHL
1201 FIRST AVENUE SOUTH, SUITE 310
SEATTLE, WA 98134

PHONE: (206) 402-5156
CONTACT: SHAWN ROBERGE
EMAIL: SROBERGE@LUNDOPSAHL.COM

CIVIL ENGINEER
DCI ENGINEERS
818 STEWART ST #1000
SEATTLE, WA 98101

PHONE: (206) 787-8940
CONTACT: MATTHEW FRISBY
EMAIL: MFRISBY@DCI-ENGINEERS.COM

MEP ENGINEER
ABOSSEIN ENGINEERING
18465 NE 68th St #200
REDMOND, WA 98052

PHONE: (425) 462-9441
CONTACT: ALEX ABOSSEIN
EMAIL: alex_abossein@abossein.com

SURVEY
LANKTREE LAND SURVEYING, INC
421 B STREET N.E.
AUBURN, WA 98002

PHONE: (253) 653-6423
CONTACT: Contact
EMAIL: WWW.LANKTREELANDSUVERYING.COM

PROJECT DATA

PROJECT ADDRESS
505 16TH AVE
SEATTLE , WA 98122

PROJECT NUMBER
3025500-LU

PARCEL NUMBER
794260-0795

PROJECT DESCRIPTION
THE PROPOSED PROJECT IS AN 6 STORIES MIXED-USE BUILDING ON AN URBAN SITE WITH PARCEL THAT CONSISTS OF APPROXIMATELY 4,800 SQ. FT. OF SITE AREA WITHIN THE SWEDISH MEDICAL CENTER CHERRY HILL CAMPUS OF SEATTLE.
THE PROPOSED BUILDING WILL CONTAIN 37 HOTEL UNITS (R-1) FOR PATIENTS AND FAMILY FOR ADDITIONAL ACCOMMODATIONS BEFORE AND AFTER TREATMENT DURING THEIR TIME IN THE SWEDISH MEDICAL CENTRER. HOTEL GUESTS WILL SHARE THE GROUND LEVEL LOBBY FACILITIES. OUTDOOR AMENITY SPACES WILL INCLUDE LEVEL 04 TERRACE COURTYARD AND ROOFTOP TERRACE.

LEGAL DESCRIPTION
LOT 22, BLOCK 5, SQUIRE PARK ADDITION TO THE CITY OF SEATTLE,
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS,
PAGE 6, RECORDS OF KING COUNTY, STATE OF WASHINGTON

SITE AREA
4,800SF (0.11 ACRES)

ZONING
MIO-65-NR3

PROPOSED BUILDING AREA
22,590.05 SF

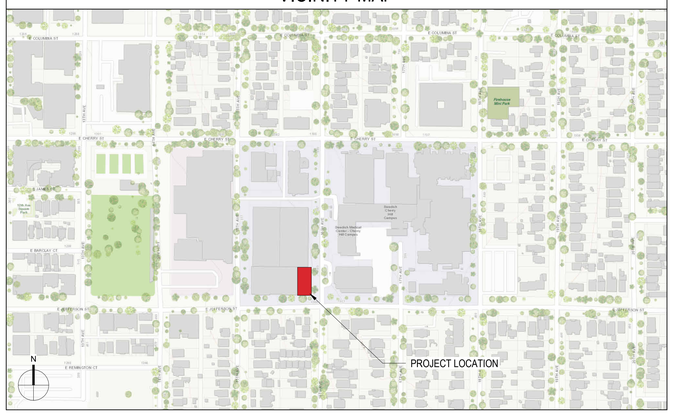
OVERLAY
MIMP - CHERRY HILL CAMPUS

CONSTRUCTION TYPE:
TYPE 5A OVER 1A, FULLY SPRINKLERED

CODES:
SMC 2015
2015 SBC, 2015 SEC, 2015 SMC, 2015 SPC

DRAWING INDEX - MUP

VICINITY MAP



DATE 3/20/2024 9:34:45 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
1	2/17/2023	MUP Revision#2
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4
4	10/20/2023	MUP Revision#5
	3/19/2024	MUP Revision#6

SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
PROJECT COVER SHEET

SHEET NUMBER

G0.00

DRAWING SYMBOLS

- N — PROJECT NORTH / TRUE NORTH
- DETAIL — 1 DETAIL IDENTIFICATION; A101 SHEET WHERE DRAWN
- MATCHLINE — --- ADJ. SHEET NO.
- WALL SECTION — 1 DETAIL IDENTIFICATION; A101 SHEET WHERE DRAWN
- BUILDING SECTION — 1 DETAIL IDENTIFICATION; A101 SHEET WHERE DRAWN
- EXTERIOR ELEVATION — 1 ELEV. IDENTIFICATION; A3.01 SHEET WHERE DRAWN
- DOOR MARK — 101 DOOR CODE, REFER TO SCHEDULE
- INTERIOR ELEVATION — 1 ELEV. IDENTIFICATION; A101 SHEET WHERE DRAWN
- W00C / 00 a 00 — PARTITION TYPE
- X — WINDOW TYPE
- W00A / 00 a 00 — FLOOR TYPE
- XX / X'-XX" — CEILING/ROOF TYPE, ELEVATION OF FINISHED CEILING WHERE APPLIES
- XX-X — FLOOR FINISH KEY NOTE
- ROOM TAG — NAME 1BR: ROOM NAME; 101: ROOM NUMBER
- 0' - 0" / 2' - 10" — GRADE ELEVATION, NEW OR FINISH GRADE; EXISTING GRADE
- 1 — REVISION
- PROPERTY LINE
- FENCE
- 21 — FINISHED CONTOURS
- 35 — EXISTING CONTOURS
- XX / XX — COLUMN GRID
- BREAKLINE SYMBOLS
- 1ST FLR. 0'-0" — WORK, CONTROL OR DATUM POINT
- F.E. — FIRE EXTINGUISHER
- F.E.C. — FIRE EXTINGUISHER CABINET
- PENDANT FIXTURE
- AP — ACCESS PANEL
- SUPPLY DIFFUSER
- EXHAUST OR RETURN REGISTER
- S — SPEAKER
- SC — SMOKE + C.O. DETECTOR
- SPRINKLER HEAD
- ELECTRICAL FLOOR BOX
- FINISH TAG
- K — CARD KEY
- 1i — CASEWORK TAG
- EXIT SIGN - ARROW INDICATES DIRECTION OF EGRESS
- EXIT SIGN - ARROW INDICATES DIRECTION OF EGRESS
- HB — HOSE BIB
- EXTENT OF WORK — EXTENT OF WORK
- ROOM NAME / 500,000 SF / 1000 — OCCUPANCY TAG

PARTITION FIRE RATING

- NON RATED
- 1-HOUR RATED
- 2-HOUR RATED
- 3-HOUR RATED

EXIT ROUTE

- DEAD END
- TRAVEL DISTANCE
- COMMON PATH OF EGRESS
- EXIT START
- EXIT END

GRAPHIC SCALE

0' 20' 40'

?

DATE 3/20/2024 9:34:47 PM

ABBREVIATIONS

A/C	AIR CONDITIONING
ACT	ACOUSTICAL CEILING TILE
AFF	ABOVE FINISH FLOOR
AL	ALUMINUM
ALT	ALTERNATE
APPROX.	APPROXIMATE
BD	BOARD
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BOT	BOTTOM
B/S	BUILDING STANDARD
BU	BUILT UP
CAB	CABINET
CLG	CEILING
CLR	CLEAR(ANCE)
COL	COLUMN
CONC	CONCRETE
CONS	CONSTRUCTION
CONT	CONTINUOUS
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
DEMO	DEMOLITION
DTL	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DR	DOOR
DWG	DRAWING
DRW	DRAWER
E	EAST
EA	EACH
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATE
EXIST	EXISTING
EXP	EXPANSION
FEC	FIRE EXTINGUISHER CABINET
FF	FACTORY FINISH
FG	FIBERGLASS
FH	FULL HEIGHT
FIN	FINISH(ED)
FLR	FLOOR
FLUOR	FLUORESCENT
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
FOS	FACE OF STUD(S)
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FT	FOOT/FEET
FUR	FURRED/FURRING
GA	GUAGE
GC	GENERAL CONTRACTOR
GL	CLASS/GLAZING
GWB	GYPSUM WALL BOARD
HC	HOLLOW CORE
HCPD	HANDICAPPED
HCW	HOLLOW CORE WOOD
HDR	HEADER
HDWR	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING VENTILATION AIR CONDITIONING
INSUL	INSULATION
JAN	JANITOR
JT	JOINT
KIT	KITCHEN

LAM	LAMINATE(D)
LAV	LAVATORY
LH	LEFT HAND
MAX	MAXIMUM
MECH	MECHANICAL
MTL	METAL
MEZ	MEZZANINE
MFR	MANUFACTURE(R)
MIN	MINIMUM
MISC	MISCELLANEOUS
MTD	MOUNTED
MUL	MULLION
N	NORTH
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OPPOSITE
OPNG	OPENING
P-LAM	PLASTIC LAMINATE
PNL	PANEL
PR	PAIR
PT	PAINTED
PTN	PARTITION
RAD	RADIUS
RB	RESILIENT BASE
RT	RESILIENT TILE
REF	REFERENCE
REFR	REFRIGERATOR
REINF	REINFORCING
REQ	REQUIRED
REV	REVISION
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
S	SOUTH
SC	SOLID CORE
SCM	SOLID CORE METAL
SCW	SOLID CORE WOOD
SEAL	SEALANT
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STL	STEEL
STOR	STORAGE
STRUC	STRUCTURAL
SUSP	SUSPENDED
T	TEMPERED
TEL	TELEPHONE
TEMP	TEMPERED
TFTI	TENANT FURNISHED & TENANT INSTALLED
THK	THICK(NESS)
THRESH	THRESHOLD
TV	TELEVISION
TYP	TYPICAL
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
WD	WOOD
VEN	VENEER
VERT	VERTICAL
VESTI	VESTIBULE
VFY	VERIFY
VNL	VINYL
VWC	VINYL WALL COVERING
W	WEST/WIDE
W/	WITH
WD	WOOD
W/O	WITHOUT
WT	WEIGHT

MATERIALS

- GYPSUM BOARD (SECTION) CONCRETE (ELEVATION)
- CONCRETE (ELEVATION, SECTION)
- EARTH
- GRAVEL
- PLASTER & LATH
- CMU OR BRICK
- PLYWOOD
- RIGID INSULATION
- SPRAY-IN INSULATION
- BATT INSULATION
- WOOD MEMBER
- WOOD BLOCKING
- FINISHED WOOD
- ACOUSTICAL TILE
- STEEL
- ALUMINUM

GENERAL NOTES

1. THESE ARCHITECTURAL NOTES ARE A SUPPLEMENT TO THE PROJECT SPECIFICATIONS. ANY DISCREPANCY FOUND AMONG THE DRAWINGS, SPECIFICATIONS, THESE NOTES, AND ANY SITE CONDITIONS SHALL BE REPORTED IN A TIMELY MANNER AND IN WRITING TO THE ARCHITECT WHO SHALL CLARIFY ANY DISCREPANCY IN WRITING. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE CONTRACTOR'S RISK.
2. ALL WORK SHALL CONFORM TO APPLICABLE CURRENT FEDERAL, STATE AND LOCAL CODES. THE CONTRACTOR IS TO PROVIDE FOR ALL REQUIRED NOTIFICATION OF AND COORDINATION WITH CITY AND STATE AGENCIES, AND PROVIDE REQUIRED PERMITS. ALL TESTS AND INSPECTIONS ASSOCIATED WITH OBTAINING APPROVALS TO PROCEED WITH AND COMPLETE THE WORK SHALL BE PAID FOR BY THE CONTRACTOR.
3. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY OR REASONABLY INFERABLE AS BEING NECESSARY FOR THE EXECUTION OF THE WORK. BY SUBMITTING A PROPOSAL, THE CONTRACTOR REPRESENTS THAT THOROUGH EXAMINATION OF THE SITE AND ALL EXISTING CONDITIONS AND LIMITATIONS HAVE BEEN MADE AND THAT THE CONTRACT DOCUMENTS HAVE BEEN EXAMINED IN COMPLETE DETAIL, AND THAT IT IS DETERMINED BEYOND DOUBT THAT THE DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS ARE SUFFICIENT, ADEQUATE AND SATISFACTORY FOR CONSTRUCTION OF THE WORK. WHERE MINOR ADJUSTMENTS TO THE WORK ARE NECESSARY FOR THE PURPOSES OF FABRICATION AND INSTALLATION OF ITEMS, OR RESOLUTIONS OF CONFLICTS BETWEEN ITEMS, WITHIN THE INTENT OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL MAKE SUCH ADJUSTMENTS AT NO ADDED EXPENSE TO THE OWNER. WHERE SUCH MINOR ADJUSTMENTS AFFECT FUNCTIONAL OR AESTHETIC DESIGN OF THE WORK, THEY SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
4. THE CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, INCLUDING AREA FOR WORK, MATERIALS STORAGE, AND ACCESS TO AND FROM THE WORK, SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK AND INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES. NOISY OR DISRUPTIVE WORK SHALL BE SCHEDULED AT LEAST ONE (1) WEEK IN ADVANCE OF THE TIME WORK IS TO COMMENCE.
5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST STANDARD OF WORKMANSHIP IN GENERAL AND WITH SUCH STANDARDS AS ARE SPECIFIED.
6. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A REASONABLE DISTRIBUTION OF COLOR RANGES AND PATTERN PRIOR TO INSTALLATION FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND PRODUCT DATA FOR ARCHITECT'S APPROVAL ON ALL SPECIAL ITEMS REQUIRING CUSTOM FABRICATION. (SHALL INCLUDE RATED FIRE DOORS AND HARDWARE).
7. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR IS NOT TO SCALE OFF DRAWINGS.
8. CONTRACTOR SHALL PROVIDE 18-GAUGE SHEET METAL BACKING IN PARTITIONS FOR ALL WALL-MOUNTED FIXTURES AND DEVICES UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
9. ALL FLOORS SHOULD BE LEVEL AND NOT VARY MORE THAN 1/4" IN 10'-0". THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITIONS THAT DO NOT MEET THIS STANDARD.
10. MATERIALS, ARTICLES, DEVICES AND PRODUCTS ARE SPECIFIED IN THE DOCUMENTS BY LISTING ACCEPTABLE MANUFACTURERS OR PRODUCTS, BY REQUIRING COMPLIANCE WITH REFERENCED STANDARDS, OR BY PERFORMANCE SPECIFICATIONS. FOR ITEMS SPECIFIED BY NAME, SELECT ANY PRODUCT NAMED. FOR THOSE SPECIFIED BY REFERENCE STANDARDS OR BY PERFORMANCE SPECIFICATIONS SELECT ANY PRODUCT MEETING OR EXCEEDING SPECIFIED CRITERIA. FOR APPROVAL OF AN ITEM NOT SPECIFIED, SUBMIT REQUIRED SUBMITTALS, PROVIDING COMPLETE BACK-UP INFORMATION FOR PURPOSES OF EVALUATION. WHERE BUILDING STANDARD ITEMS ARE CALLED FOR, NO SUBSTITUTE WILL BE ACCEPTED.
11. CONTRACTOR SHALL PROVIDE FOR ALL WORK REQUIRED TO MAINTAIN COMPLIANCE WITH LOCAL FIRE CODE. PROVIDE FOR ALL REQUIRED SHOP DRAWINGS AND APPROVALS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING FIRE ALARM SYSTEM AUDIBILITY.
12. MECHANICAL AND ELECTRICAL FIXTURES, OUTLETS, ETC., WHEN SHOWN ON THE ARCHITECTURAL DRAWINGS, ARE FOR LOCATION INFORMATION ONLY. REFER TO M.E.P. DRAWINGS FOR FIXTURES, CIRCUITING, ETC.
13. CONTRACTOR IS TO PROVIDE DRAWINGS FOR ARCHITECT'S APPROVAL SHOWING LOCATIONS OF ALL HVAC THERMOSTATS, GRILLES AND DIFFUSERS, FIRE AND SMOKE DETECTION DEVICES INCLUDING SPRINKLERS, SMOKE DETECTORS, FIRE EXTINGUISHERS AND HOSE CABINETS, PLUMBING AND PLUMBING EQUIPMENT.
14. ANY CHANGE IN LIGHT FIXTURE PLACEMENT DUE TO INTERFERENCE OF MECHANICAL OR STRUCTURAL COMPONENTS MUST BE APPROVED BY THE ARCHITECT.
15. ALL PERMITS INCLUDING FIRE, MECHANICAL, AND ELECTRICAL TO BE FILED SEPARATELY.
16. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED SMOOTH WITH NO VISIBLE JOINTS.
17. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE.
18. REFER TO MILLWORK SHOP DRAWINGS FOR SPECIFIC DETAILS OF COORDINATION BETWEEN DRYWALL/MILLWORK CONDITIONS.
19. ALL GLASS SHALL BE CLEAR TEMPERED GLASS, UNLESS OTHERWISE NOTED. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN AND POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.
20. ALL MILLWORK TO BE FASTENED TO THE PARTITION. PROVIDE NON-COMBUSTIBLE BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" HT. ALL CONCEALED LUMBER & BLOCKING TO BE FIRE TREATED.
21. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR: HVAC, CARPET SEAMING, LIGHTING, CASEWORK.
22. COORDINATE WITH SUB-CONTRACTORS THE LOCATIONS OF ELECTRICAL AND VOICE/DATA OUTLETS, PLUMBING AND OTHER DEVICES WITH LAYOUT AND DESIGN OF CUSTOM CASEWORK.
23. CUSTOM CASEWORK SHALL CONFORM TO A.W.I. CURRENT STANDARDS FOR CUSTOM GRADE FABRICATION.
24. PROVIDE NEAT CUT WHERE UTILITIES PENETRATE RATED WALL AND FLOOR ASSEMBLIES, SEAL WITH NON-COMBUSTIBLE MATERIAL PER CODE. VERIFY ALL SUCH PENETRATIONS WITH ARCHITECT PRIOR TO CUTTING.
25. TO MAINTAIN WALL FIRE RATING, GYPSUM WALL BOARD SHALL TYPICALLY BE CONTINUOUS TO THE FLOOR SHEATHING, INCLUDING AREAS WHERE BATHTUBS, LAVATORIES, AND KITCHEN WALL AND BASE CABINETS MAY OCCUR.
26. FIRE AND DRAFT STOPS - FIRESTOPPING WITH NON-COMBUSTIBLE MATERIALS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS (PER IBC 718), AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL, AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS AND COVE CEILINGS, IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED, IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEY, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS.
27. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. ALL DIMENSIONS OF EXISTING CONDITIONS ON DRAWINGS ARE INTENDED AS GUIDELINES AND MUST BE FIELD VERIFIED.
28. IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS THAT ALL WORK COMPLY WITH THE CODES LISTED HEREIN, AND OTHER APPLICABLE CODES, RULES, AND REGULATIONS OF JURISDICTIONS HAVING AUTHORITY.
29. REPETITIVE FEATURES NOT INDICATED IN THE DRAWINGS EVERYWHERE THAT THEY OCCUR SHALL BE PROVIDED AS IF DRAWN IN FULL.
30. THE CONTRACTOR IS RESPONSIBLE FOR ALL BRACING AND SHORING DURING CONSTRUCTION.
31. IBC 1007.7--AT EXITS AND ELEVATORS SERVING A REQUIRED ACCESSIBLE SPACE BUT NOT PROVIDING AN ACCESSIBLE MEANS OF EGRESS, SIGNAGE SHALL BE INSTALLED INDICATING THE LOCATION OF ACCESSIBLE MEANS OF EGRESS.
32. THE ARCHITECTURAL DRAWINGS REPRESENT THE COMPLETED DESIGN INTENT AND ARE NOT INTENDED TO INDICATE THE MEANS AND METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCING, AND SAFETY REQUIRED FOR THIS PROJECT.
33. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS SUBJECT TO REVIEW BY THE ARCHITECT.
34. ALL PRODUCTS AND MATERIALS BEING PROVIDED BY THE CONTRACTOR SHALL BE APPLIED, PLACED, ERECTED OR INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
35. H. THESE DOCUMENTS CONTAIN NOTES THAT MAY APPLY GENERALLY TO ALL DESIGN ELEMENTS, SPECIFICALLY TO ONE SHEET, OR SPECIFICALLY TO ONE OR MORE DESIGN ELEMENTS. THE NOTES ARE NOT MERE GUIDELINES, THEY ARE PART AND PARCEL OF THE DESIGN. ANY WORK THAT IS PERFORMED THAT IS NOT IN COMPLIANCE WITH THE NOTES IS NOT IN COMPLIANCE WITH THE DESIGN AND IS SUBJECT TO REJECTION. ANY ALTERATION, MODIFICATION, DELETION, OR ADDITION TO THE NOTES BY WRITING, ACT OR FAILURE TO ACT, SHALL BE CARRIED OUT ONLY WITH THE PRIOR EXPRESS WRITTEN CONSENT AND APPROVAL OF THE ARCHITECT.
36. DRAWINGS AND DETAILS ARE MEANT TO INDICATE GENERAL DESIGN INTENT AND SHOW ASSEMBLIES OF STRUCTURAL AND NON-STRUCTURAL MEMBERS, SIZES, SHAPES, CONNECTIONS, ETC. COORDINATE WITH OTHER CONTRACT DOCUMENTS FOR COMPLETE SYSTEMS AND ASSEMBLY INFORMATION. ANY ITEMS NOT SHOWN, BUT NECESSARY FOR A COMPLETE AND FINISHED PRODUCT ARE TO BE CONSIDERED PART OF EACH DETAIL AND SHALL BE INCLUDED IN THE CONSTRUCTION TO MEET INDUSTRY STANDARDS.
37. DO NOT NOTCH OR DRILL JOISTS, BEAMS, OR LOAD BEARING STUDS WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.
38. PROVIDE BLOCKING, BACKING, FRAMING WITHIN ALL WALLS HAVING WALL-MOUNTED FIXTURES, ACCESSORIES, FURNISHINGS AND EQUIPMENT.
39. ALL METAL FLASHING EDGES SHALL BE HEMMED, UNLESS NOTED OTHERWISE.
40. PROVIDE STAINLESS METAL STEEL FLASHING AT ALL EXTERIOR ASSEMBLY TRANSITION LOCATIONS WHERE FLASHING WILL COME INTO CONTACT WITH CONCRETE.
41. PROVIDE SEPARATION BETWEEN DISSIMILAR METALS.
42. PROVIDE VENTING FOR ALL CONCEALED SPACES PER BUILDING CODE.
43. CONTRACTOR SHALL PROTECT ALL EXTERIOR EXPOSED WORK BEING INSTALLED IN WEATHER TIGHT MANNER.
44. PROVIDE WEATHER BARRIER MATERIALS AS REQUIRED FOR WATERTIGHT CONSTRUCTION. PROVIDE TEMPORARY COVER AS NECESSARY TO PREVENT WATER INFILTRATION INTO THE BUILDING INTERIOR OR WIND DAMAGE DURING CONSTRUCTION.
45. ALL INSULATION INDICATED ON PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS THE MOST RESTRICTIVE PREVAILING BUILDING CODE (GOVERNING EDITION) FOR SMOKE DENSITY AND FLAME SPREAD.
46. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ARCHITECT INCLUDING BUT NOT LIMITED TO:

    HVAC, LIGHTING, ELEVATORS, STRUCTURAL STEEL, CARPET SEAMING, SHEET METAL AND FLASHINGS, SIDING, SHEAR WALLS, ALL BIDDER DESIGNED ITEMS, WINDOWS, FF&E SYSTEMS, JULIETS, LOUVERS AND VENTS, MILLWORK, METAL BALCONIES, ELECTRICAL, CASEWORK, GUARDRAILS, PLUMBING, TILE LAYOUTS, ROOF TRUSSES, GLAZING, WINDOWS, ROOF DRAINAGE LAYOUTS, DOORS, DOOR HARDWARE, FIRE SPRINKLERS

GENERAL FIRE AND LIFE SAFETY

1. CONFIGURE FIRE DETECTION, INTERNAL ALARM AND CENTRAL REPORTING SYSTEMS IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION AND IN COMPLIANCE WITH THE GOVERNING EDITIONS OF ADA, ANSI AND THE BUILDING CODE. THE EQUIPMENT FURNISHED SHALL BE COMPATIBLE AND BE UL LISTED, FM APPROVED OR LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY IN ACCORDANCE WITH THE APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS.
2. PROVIDE EMERGENCY EXIT ILLUMINATION AND SIGNAGE AS REQUIRED BY ELECTRICAL DRAWINGS AND PREVAILING LOCAL JURISDICTION, BUILDING CODE, NFDA, OR NFPA (CURRENT EDITION).
3. ROVIDE EMERGENCY EGRESS LIGHTING WHERE REQUIRED TO MAINTAIN CODE SPECIFIED ILLUMINATION - SEE ELECTRICAL DRAWINGS.
4. THE BUILDING(S) SHALL COMPLY WITH THE PROVISIONS IBC 907.5.2.2, EMERGENCY VOICE/ALARM COMMUNICATION SYSTEMS IN ACCORDANCE WITH NFPA 72

DIMENSION NOTES

1. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
2. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE UNLESS NOTED OTHERWISE. CONTACT ARCHITECT FOR ANY REQUIRED CLARIFICATIONS. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESSES OF ALL WALL FINISHES, U.N.O.
3. DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE ACCURATELY MAINTAINED, AND SHALL NOT VARY MORE THAN ± 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT.
4. DIMENSIONS MARKED ± MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION, U.N.O.
5. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITION LAYOUT, NOTIFY ARCHITECT. VERIFICATION OF THE LAYOUT TO BE PROVIDED BY THE ARCHITECT PRIOR TO PARTITION INSTALLATION.
6. REFER TO REFLECTED CEILING PLANS FOR SOFFITS, CEILING HEIGHTS AND PLENUM BARRIER LOCATIONS.
7. DIMENSIONS LOCATING DOORS ARE TO THE INSIDE EDGE OF JAMB, U.N.O.
8. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.
9. ALL DOORS SHALL HAVE 1'-6" CLR. ON STRIKE/PULL SIDE AND 1'-0" CLR. ON PUSH SIDE OF DOOR. VERIFY AND ADVISE ARCHITECT OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS, U.N.O.

GENERAL ASSEMBLY NOTES

1. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT TAKES PRECEDENCE OVER ALL OTHER PLANS.
2. PROVIDE RATED ASSEMBLIES PER LISTED DESIGNS.
3. ASSEMBLY COMPONENTS SHOWN HERE REFLECT THE MAJOR CONSTRUCTION MATERIALS; ADDITIONAL AND ALTERNATE MATERIALS MAY BE INDICATED IN REFERENCED ASSEMBLIES.
4. WALLS DESIGNATED AS "BASED ON" VARY (AS NOTED IN PARENTHESIS) WHERE DEVIATION OCCURS.
5. SEE STRUCTURAL ENGINEERING SHEAR WALL SCHEDULE FOR SHEAR WALL ATTACHMENT AND EDGE BLOCKING REQUIREMENTS. STRUCTURAL SHEAR WALL SCHEDULE OVERRIDES LISTED ASSEMBLY ATTACHMENT AND BLOCKING REQUIREMENTS ONLY WHEN MORE RESTRICTIVE.
6. DETAILS DO NOT INDICATE SUPPORT FOR WALL-MOUNTED FIXTURES, ACCESSORIES, FURNISHINGS AND EQUIPMENT. PROVIDE NECESSARY STRUCTURAL BLOCKING, BACKING, FRAMING WITHIN THE APPROPRIATE WALLS FOR THIS PURPOSE. VERIFY CONDITIONS AT WALLS TO RECEIVE FIXTURES. ADVISE ARCHITECT OF RECORD OF ANY CONDITIONS DETRIMENTAL TO INSTALLATION.
7. STRUCTURAL, FIRE RESISTIVE AND SOUND RESISTIVE INTEGRITY IS TO BE MAINTAINED AT PENETRATIONS FOR ELECTRICAL, MECHANICAL, PLUMBING AND CONDUITS, PIPES AND SIMILAR SYSTEMS AND IS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING CODES, AUTHORITIES OR OWNER REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
8. WALL ASSEMBLIES: PROVIDE TYPE "X" GYPSUM BOARD THROUGHOUT, UNLESS NOTED OTHERWISE. PROVIDE MOISTURE- AND MOLD- RESISTANT GYPSUM BOARD TYPE "X" AT ALL ROOMS WHERE PLUMBING FIXTURES OCCUR. PROVIDE MOISTURE-RESISTANT GLASS-MAT INTERIOR GYPSUM BOARD TYPE "X" AT ALL HIGH HUMIDITY AREAS (SHOWERS AND TUBS).
9. PROVIDE SOUND ATTENUATING BATT INSULATION FULL HEIGHT OF WALL AT ALL LAUNDRY AND TOILET ROOM WALLS.
10. WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER DUCTS, PIPING, CONDUIT, ETC., THE LARGER STUD SIZE OR FURRING SHALL BE PROVIDED AND SHALL EXTEND THE FULL SURFACE OF THE WALL LENGTH AND HEIGHT WHERE THE FURRING OCCURS.
11. STAGGER VERTICAL AND HORIZONTAL JOINTS OF GYPSUM BOARD IN ALL CONDITIONS OF DOUBLE LAYER GYPSUM BOARD CONSTRUCTION, UNLESS NOTED OTHERWISE.
12. INSTALL CONTINUOUS ACOUSTICAL SEALANT AT TOP AND BOTTOM OF FIRST GYPSUM BOARD LAYER IN ALL DOUBLE LAYER GYPSUM BOARD WALL CONSTRUCTION. INSTALL CONTINUOUS FIRE SEALANT AT TOP AND BOTTOM OF SECOND GYPSUM BOARD LAYER ONLY, TO MAINTAIN RATINGS.
13. APPLY PVA PRIMER AT INTERIOR SIDE OF ALL EXTERIOR WALLS, TYPICAL, UNLESS OTHERWISE NOTED.
14. COORDINATE FLOOR, WALL, AND ROOF ASSEMBLY MINIMUMS WITH STRUCTURAL DRAWINGS.
15. ALL NON-STRUCTURAL METAL STUDS SHALL BE MINIMUM 22 GAUGE THICKNESS, UNLESS OTHERWISE NOTED.
16. FOR STRUCTURAL METAL STUD GAUGES, SEE STRUCTURAL DRAWINGS.
17. STAGGERING OF WALL PANEL JOINTS TO BE FIELD VERIFIED BY ARCHITECT.
18. REFER TO DRAWINGS/DETAILS FOR TERMINATIONS OF EXTERIOR MATERIALS.

FIRE RATED ASSEMBLY NOTES

1. FIRE RESISTIVE RATED ASSEMBLY REFERENCES:
   - GA = GYPSUM ASSOCIATION, FIRE-RESISTANCE DESIGN MANUAL (GOVERNING EDITION)
   - NRCC = NATIONAL RESEARCH COUNCIL OF CANADA.
   - RAL = RIVERBANK ACOUSTICAL LABORATORIES
   - UL = UNDERWRITERS LABORATORY
2. FOR DESIGNATION OF FIRE RESISTIVE WALLS WITH OPENING PROTECTION (FIRE RESISTIVE RATED DOORS AND GLAZING) REFER TO FLOOR PLAN(S), WALL TYPE LEGEND AND BOTH DOOR AND WINDOW SCHEDULES.
3. WALL TYPES STATED AS "BASED ON" A LISTED ASSEMBLY VARY IN RESPECT TO STUD SIZE AND / OR ADDING EXTRA ELEMENTS TO THE ASSEMBLY.
4. ALL NON-LOAD BEARING WALLS AT UPPER LEVEL EXTENDING TO STRUCTURE SHALL ALLOW FOR VERTICAL MOVEMENT. NON-LOAD BEARING WALLS AT ALL OTHER LEVELS SHALL ALLOW FOR VERTICAL MOVEMENT WHILE MAINTAINING FIRE AND ACOUSTICAL SEPARATIONS.
5. ALL OPENINGS SHALL BE PROTECTED AS REQUIRED BY MOST RESTRICTIVE CODES.
6. MAINTAIN FIRE RESISTIVE WALL CONSTRUCTION INDICATED AT BUILT-IN WALL FIXTURES, ACCESSORIES AND BEHIND FIRE EXTINGUISHER CABINETS AND ELECTRICAL PANELS EXCEEDING 16 SQUARE INCHES IN AREA, ETC., IN ACCORDANCE WITH REQUIREMENTS OF RATED PENETRATION ASSEMBLY AND APPLICABLE CODES.
7. PROVIDE VERTICAL AND HORIZONTAL FIRE BLOCKING AT 10'-0" OC MAXIMUM AND AT ALL FLOORS.

GENERAL PENETRATION NOTES

1. DETAILS ARE MEANT TO INDICATE DESIGN INTENT AND SHOW ASSEMBLIES OF STRUCTURAL AND NON-STRUCTURAL MEMBERS, SIZES, SHAPES, CONNECTIONS, ETC. COORDINATE WITH OTHER DRAWINGS AND SPECIFICATIONS FOR COMPLETE SYSTEMS AND ASSEMBLIES. ANY ITEMS NOT SHOWN, BUT NECESSARY FOR A COMPLETE AND FINISHED PRODUCT ARE TO BE CONSIDERED PART OF EACH DETAIL AND SHALL BE INCLUDED IN THE CONSTRUCTION TO MEET INDUSTRY STANDARDS.
2. REFER TO STRUCTURAL DRAWINGS FOR REQUIRED STRUCTURAL MEMBERS, SIZES, SHAPES, CONNECTIONS, ETC.
3. REFER TO BUILDING ELEVATIONS, BUILDING SECTIONS, WALL SECTIONS AND OTHER DETAILS FOR TYPICAL VERTICAL HEIGHTS AND SIMILAR CONDITIONS.
4. ALL EXTERIOR STRUCTURAL STEEL SHAPES SHALL BE GALVANIZED AND PAINTED.
5. DEFINITION: "APPURTENANCE." AN ACCESSORY THAT IS ATTACHED TO THE BUILDING EITHER DIRECTLY THROUGH OR SUPERFICIALLY TO THE WALL ASSEMBLY. EXAMPLES INCLUDE BUT ARE NOT LIMITED TO; HOSE BIBS, EXHAUST VENTS, CONDENSATES, ELECTRICAL OUTLETS, LIGHT FIXTURES, SIGNAGE, GUARDRAILS AND THE LIKE.
6. CONTINUOUS STAINLESS STEEL INSECT SCREEN TO BE INSTALLED AT THE BOTTOM OF ALL VERTICAL FURRING STRIPS OR WHERE AIR FLOW IS PERMITTED, TYPICAL.
7. REFER TO BUILDING ENVELOPE DRAWINGS (BE-SERIES) FOR ADDITIONAL EXTERIOR ENVELOPE, INSULATION, AND CLADDING INFORMATION.
8. REFER TO ASSEMBLY DRAWINGS FOR WALL, CEILING AND ROOF TYPES.
9. REFER TO BE SERIES FOR TYPICAL FLASHING CONFIGURATIONS.
10. WHERE ELECTRICAL CONDUITS, COVERS, FIXTURES, PIPING, HOSE BIBS, ETC ARE INDICATED, REFER TO MEP DRAWINGS AND SPECIFICATIONS FOR SPECIFIC INFORMATION.

DEMOLITION NOTES

1. OBTAIN DEMOLITION PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE.
2. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
3. DISPOSAL: ALL DEBRIS REMOVED FROM THE SITE SHALL BE RECYCLED AS MUCH AS PRACTICAL AND ALLOWED BY LAW.

ELECTRICAL NOTES

1. FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM AND FIXTURE LAMPS AS REQUIRED.
2. ARCHITECTURAL DRAWINGS DETERMINE LOCATION AND TYPE (ARCHITECT TO VERIFY W/ ENGINEER) OF ALL OUTLETS AND TAKE PRECEDENCE OVER ALL OTHERS, U.N.O.. ELECTRICAL ENGINEER'S POWER PLAN SHALL GOVERN THE WIRING LAYOUT AND INSTALLATION IN COMPLIANCE WITH ALL LAWS APPLICABLE AND ENFORCED BY GOVERNING AUTHORITIES.
3. OUTLETS SHOWN BACK TO BACK ON PARTITION WALLS SHALL BE OFFSET 1'-0", MAXIMUM, OR MOUNTED AT DIFFERENT HEIGHTS IF INDICATED.
4. FURNITURE, IF SHOWN, IS FOR REFERENCE ONLY AND IS NOT IN CONTRACT, U.N.O.
5. COORDINATE ALL WORK RELATED TO EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.
6. ALL FLOOR SLAB PENETRATIONS FOR CONDUIT OR PLUMBING LINES SHALL BE FULLY PACKED & SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES.
7. UPON COMPLETION OF OUTLET LAYOUT, NOTIFY THE ARCHITECT. ARCHITECT SHALL SITE VERIFY ALL OUTLET LOCATIONS PRIOR TO COMMENCEMENT OF CORING OR OUTLET INSTALLATION.
8. FURNISH AND INSTALL ONLY UNDERWRITERS LABORATORIES, INC. (UL) LABELED DEVICES THROUGHOUT.
9. INSTALL WALL MOUNTED OUTLETS 18 INCHES ABOVE FINISHED FLOOR, U.N.O. HEIGHTS SHALL BE DETERMINED FROM FINISHED FLOOR TO THE CENTERLINE OF COVERPLATE, INSTALLED VERTICALLY, GROUNDING POLE AT BOTTOM, U.N.O.
10. MAINTAIN A 4-INCH HORIZONTAL CLEARANCE IN ALL DIRECTIONS, MIN. FROM EDGE OF COVERPLATE, FOR WALL MOUNTED OUTLETS, OR FROM EDGE OF MONUMENT FOR FLOOR MOUNTED OUTLETS, WHEN ADJACENT TO A WALL, COLUMN, OR SIMILAR ELEMENTS, U.N.O.
11. INDICATED DIMENSIONS ARE TO THE CENTER OF THE COVERPLATE OR MONUMENT; CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, U.N.O.; GANG COVERPLATES SHALL BE ONE-PIECE TYPE, U.N.O.
12. ELECTRICAL SWITCH AND OUTLET COVER PLATES, SURFACE HARDWARE, ETC. SHALL BE INSTALLED AFTER PAINTING AND/OR APPLICATION OF WALLCOVERINGS & CARPET SPECIFIED.
13. POWER/DATA/TELEPHONE REQUIREMENTS FOR COMMON AREAS (LEASING OFFICE, CLUBROOM, FITNESS) TO BE PROVIDED WITH FURNITURE INSTALLATION DRAWINGS-BY OTHERS.
14. THE FURNITURE ELECTRICAL IS AN 8-WIRE SYSTEM. ALL ELECTRICAL FEEDS TO ANY OF THE PRODUCT MUST BE IN AN 8-WIRE CONFIGURATION.
15. "H" INDICATES THAT AN OUTLET SHALL BE MOUNTED HORIZONTALLY.
16. VERIFY NEW FLUSH FLOOR OUTLET LOCATIONS WITH FURNITURE LAYOUT PRIOR TO INSTALLATION.
17. ALL SWITCHES AND DIMMERS SHALL BE LOCATED 46" ABOVE FINISHED FLOOR TO CENTER OF SWITCH U.N.O.. MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER AND FINISHED WITH ONE COVER PLATE U.N.O.
18. RECEPTACLE SPACING SHALL BE A MAXIMUM OF 12'-0"

OUTLET FINISHES:
ISOLATED GROUND - GRAY
UPS - ORANGE
ALL OTHERS - MATCH BUILDING STANDARD
SWITCH FINISH: MATCH BUILDING STANDARD
COVERPLATE FINISH: MATCH BUILDING STANDARD
(INCLUDES ALL COVERPLATES - POWER/VOICE/DATA)

ELEVATOR NOTES

1. DESIGN, CONSTRUCTION, INSTALLATION, ALTERATION, REPAIR AND MAINTENANCE OF ELEVATORS AND THEIR COMPONENTS SHALL COMPLY WITH IBC 3001.1 AND 3001.2.
2. ANSI SECTIONS 101 AND 102. PIPES, DUCTS, CONDUITS, AND EQUIPMENT NOT USED FOR THE OPERATION OF THE ELEVATORS ARE PROHIBITED IN MACHINE OR CONTROLLER ROOM AND HOISTWAYS.
3. MAINTAIN ALL REQUIRED WORKING CLEARANCES IN MACHINE OR CONTROLLER ROOM.
4. ANSI RULE 100.2.C. WATERPROOF AS NECESSARY TO PREVENT ENTRY OF GROUND WATER. SUMP PUMP'S MAY BE INSTALLED FOR FLOOD CONTROL BUT NOT APPROVED TO MAINTAIN A DRY PIT.
5. ANSI RULE 106.1D. PROVIDE PIT LADDER.
6. ANSI RULE 101.5B. PROVIDE MACHINE ROOM VENTILATION.
7. PER IBC 3004, PROVIDE HOIST WAY VENTILATION.
8. COMPLY WITH SEISMIC REQUIREMENTS.
9. ANSI RULE 101.4. PROVIDE 7' - O" CLEAR MIN HEADROOM IN CONTROL ROOM.
10. ACCOMMODATE PEOPLE WITH DISABILITIES.
11. ANSI SECTION 300. PROVIDE PROPER TOP CAR RUNBYS, CLEARANCES AND REFUGE SPACE.
12. ANSI RULE 100.1B & 110.14. GROUT ALL MASONRY JAMBS AND HEADERS TO RETAIN FIRE RATING OF HOISTWAY. IN OTHER THAN MASONRY, PROVIDE LABELED ENTRANCE ASSEMBLIES INSTALLED AS TESTED.
13. GROUT BEHIND ALL HOISTWAY PENETRATIONS FOR PIPES, FIXTURES, ETC.
14. ELEVATOR HOISTWAYS SHALL NOT BE VENTED OR PRESSURIZED THROUGH ELEVATOR MACHINE ROOMS.
15. VENTILATION AND PRESSURIZATION EQUIPMENT, DUCTS, ETC. CANNOT BE LOCATED IN ELEVATOR MACHINE ROOMS, HOISTWAYS, OR SPACES.
16. ANSI 100.1C, 204.1H. GLASS USED IN OR ON ELEVATOR HOISTWAYS AND CARS MUST BE LAMINATED AND MEET THE REQUIREMENTS OF ANSI 297.1.
17. PROVIDE CALCULATIONS AND DRAWINGS TO A.H.J. FOR APPROVAL OF THE STRESSES AND SHALL BE NOTED IN THE APPLICABLE RULES OF ANSI 105.
18. ANSI SECTION 109. PROVIDE CALCULATIONS TO A.H.J. FOR APPROVAL OF THE ABILITY OF THE PIT FLOOR AND STRUCTURE TO WITHSTAND THE ELEVATOR BUFFER ENGAGEMENT REACTIONS.
19. ANSI 211.1 (A). (2). PROVIDE MEANS OF TWO-WAY CONVERSATION BETWEEN EACH ELEVATOR AND A READILY ACCESSIBLE POINT (BUILDING ENTRANCE LOBBY) OUTSIDE THE HOISTWAY.
20. ANSI 211.1 (B). THIS STRUCTURE IS CONSIDERED AS UNATTENDED AND ONE OF TWO ADDITIONAL EMERGENCY SIGNALING DEVICES SHALL BE PROVIDED (PHONE TO ANSWERING SERVICES).
21. ANSI 211.1. PROVIDE AN EMERGENCY POWER SUPPLY FOR THE DEVICES REQUIRED BY 211.1 (A) (2) AND 211.1 (B). THIS SUPPLY SHALL BE CAPABLE OF OPERATING THE AUDIBLE DEVICE FOR AT LEAST ONE HOUR AND THE MEANS OF A TWO-WAY CONVERSATION FOR AT LEAST FOUR HOURS.
22. INSTALL APPROVED KEY RETAINER BOX, KEYED TO THE STANDARD REQUIRED BY A.H.J. KEY-ACE ONE-INCH CYLINDER CAM LOCK KEY #39504.
23. KEYS REQUIRED FOR THE OPERATION OF ELEVATOR, FIRE EMERGENCY SERVICE, THE MACHINE ROOM AND THE MECHANICAL HOISTWAY ACCESS KEY SHALL BE TAGGED AND KEPT IN THE KEY BOX.
24. VERIFY ELEVATOR MAKE AND MODEL WITH OWNER AND ARCHITECT. CONFIRM ALL DIMENSIONS WITH ELEVATOR MANUFACTURER PRIOR TO CONSTRUCTION AND INSTALLATION.
25. THE ELEVATOR CAR SHALL BE OF SUCH A SIZE AND ARRANGEMENT TO ACCOMMODATE A 24-INCH BY 84-INCH AMBULANCE STRETCHER IN THE HORIZONTAL WITH NO LESS THAN 5" RADIUS CORNERS, IN THE OPEN POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL NOT BE LESS THAN 3-INCHES HIGH AND SHALL BE PLACED INSIDE BOTH SIDES OF THE HOISTWAY DOOR FRAME.
26. ELEVATORS ARE TO BE CONNECTED TO AN ON-SITE EMERGENCY GENERATOR. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
27. SEE ELEVATOR MECHANICAL MANUFACTURER SPECIFICATION FOR VENTILATION REQUIREMENTS.
28. VENT(S) TO BE LOCATED AT THE TOP OF THE HOISTWAY AND OPEN DIRECTLY TO OUTSIDE AIR OR VIA NON-COMBUSTIBLE DUCTS TO OUTSIDE AIR.
29. SEE STRUCTURAL DRAWINGS FOR ENGINEER OF RECORD'S ELEVATOR AND HOISTWAY EQUIPMENT STRUCTURAL REQUIREMENTS.
30. COORDINATE STAIR SYSTEM WITH FIRE SPRINKLER SYSTEM DESIGN-BUILD DRAWINGS (UNDER SEPARATE COVER), INCLUDING STANDPIPES AND ANY PENETRATIONS AT LANDINGS, ROOF, AND DOORS.

DOOR NOTES

1. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
2. ALL GLAZING SHALL CONFORM TO SAFETY GLAZING REQUIREMENTS OF IBC SECTION 2406.
3. MAGNETIC HOLD OPEN DEVICES SHALL BE TIED TO BUILDING FIRE ALARM SYSTEM.
4. ALL RATED DOORS TO BE LABELED PER IBC TABLE 715.3.
5. THRESHOLDS AT DOORWAYS SHALL BE 1/2" MAXIMUM IN HEIGHT. PER ICC/ANSI A117.1-2003 SECTION 404.2.4.
6. ICC/ANSI A117.1-2003 SECTION 404.2.6. DOOR HARDWARE. HANDLES, PULLS, LATCHES, LOCKS & OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EACH TO GRASP WITH ONE HAND & DOES NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34" MIN. & 48" MAX. ABOVE THE FINISH FLOOR. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION. OPERATING HARDWARE SHALL BE EXPOSED & USABLE FROM BOTH SIDES.
7. ICC/ANSI A117.1 - 2003 SECTION 404.2.8 DOOR OPENING FORCE. FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE MAXIMUM FORCE FOR PUSHING OPEN FOR PULLING OPEN DOORS OTHER THEN FIRE DOORS SHALL BE AS FOLLOWS: 1. INTERIOR HINGED DOOR: 5.0 POUNDS (22.2 N) 2. SLIDING OR FOLDING DOOR: 5.0 POUNDS (22.2 N). THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR IN A CLOSED POSITION.
8. ACTIVATION OF THE BUILDING AUTOMATIC SPRINKLER OR FIRE DETECTION SYSTEM, IF PROVIDED, SHALL AUTOMATICALLY UNLOCK ALL ELECTRONICALLY SECURED DOORS WITH IN THE EGRESS PATHWAY. THE DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM HAS BEEN RESET.
9. ENTRANCE DOORS IN THE BUILDINGS WITH OCCUPANCY IN GROUP A, B, E OR M SHALL NOT BE SECURED FROM THE EGRESS SIDE DURING PERIODS THAT THE BUILDING IS OPEN TO THE GENERAL PUBLIC.

REFLECTED CEILING NOTES

1. COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECT'S DRAWINGS.
2. FURNISH AND INSTALL ALL ASSOCIATED TRIM AND SEISMIC BRACING AS REQUIRED.
3. PROVIDE CEILING ACCESS AS REQUIRED FOR EQUIPMENT AND SYSTEM MAINTENANCE, AND MATCH ADJACENT CEILING FINISH U.N.O.
4. ALL SOFFITS AND CEILING HEIGHTS ARE DIMENSIONED FROM TOP OF FINISHED FLOOR TO BOTTOM OF FINISHED GYPSUM BOARD OR CEILING TILE AND SHALL ALLOW FOR THICKNESS OF ALL FLOOR FINISHES.
5. THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING HEIGHTS, LIGHT TYPES, LIGHT FIXTURES, AND ASSOCIATED ITEMS.
6. ALL SPECIFIC INFORMATION CONCERNING INSTALLATION FOR VARIOUS ABOVE-CEILING ELEMENTS ARE TO BE DESIGN BUILD, DOCUMENTATION BY OTHERS - PERMITTED SEPARATELY.
7. NOTIFY ARCHITECT OF ANY CONFLICTS OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, STRUCTURES, HVAC, AND/OR (E)CONDUIT, PRIOR TO FRAMING FOR LIGHTS. ANY DISCREPANCIES BETWEEN ARCHITECT'S CEILING GRID LOCATION & ACTUAL FIELD CONDITIONS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO FRAMING.
8. SUBMIT GRILLE, THERMOSTAT, AND OTHER FIXTURE AND ELEMENT LAYOUTS TO THE ARCHITECT FOR REVIEW AT LEAST 2 WEEKS PRIOR TO INSTALLATION.
9. INSTALL LIGHT FIXTURES WITH PROTECTIVE FILM OR SIMILAR COVER OVER LOUVER, LENS, BAFFLE, ETC. TO AVOID FIXTURE SOILING OR DAMAGE. FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW. ALL LAMPS SHALL BE NEW AT PROJECT COMPLETION.
10. ALL EXITING LIGHTS AND EGRESS LIGHTING LOCATIONS SHALL BE DETERMINED BY BUILDING AND FIRE INSPECTOR'S FIELD PLACEMENT DETERMINATION.
11. ALL SMOKE DAMPERS SHALL BE INSTALLED IN ACCORDANCE WITH SMC/IBC OR SUPERCEDING CODE. ALL FIRE DAMPERS SHALL BE INSTALLED IN ACCORDANCE WITH IMC/IBC OR SUPERCEDING CODE.
12. ALL LIGHT FIXTURES SHALL BE IC-RATED, UNLESS OTHERWISE REQUIRED BY BUILDING CODE, AND SHALL MAINTAIN REQUIRED FIRE RATING OF WALL/FLOOR/CEILING ASSEMBLY WHERE IT IS INSTALLED.
13. RECESSED FIXTURES TO BE LENSED WHERE REQUIRED BY BUILDING CODE.
14. D. REFLECTED CEILING PLANS INDICATE LOCATIONS OF PRIMARY LIGHTING FIXTURES AND MECHANICAL COMPONENTS INTEGRAL WITH CEILINGS. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
15. CENTER LIGHTS IN SOFFITS, UNLESS NOTED OTHERWISE.
16. CENTER VANITY FIXTURES OVER BATHROOM VANITY CASEWORK, UNLESS OTHERWISE NOTED.
17. PRIOR TO ORDERING OR INSTALLING, ALL EXITING SIGNAGE LOCATIONS AND QUANTITIES TO BE APPROVED BY LOCAL FIRE MARSHAL. VERIFY LOCATIONS WITH ARCHITECT.

INTERIOR PLAN NOTES

1. PREPARE ALL FLOOR AND WALL SURFACES FOR NEW FINISHES. INSTALL FINISHES PER MANUFACTURER'S INSTRUCTIONS/RECOMMENDATIONS.
2. ALL FLOORING MATERIAL TRANSITIONS SHALL OCCUR AT THE CENTERLINE OF DOORS SEPARATING ROOMS UNLESS NOTED OTHERWISE.
3. VERIFY ALL FIXTURE & APPLIANCE DIMENSIONS PRIOR TO CASEWORK FABRICATION. FIELD VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.
4. CONTRACTOR TO PROVIDE BLOCKING AT ALL BATHROOM LOCATIONS FOR FUTURE GRAB BARS AT TOILETS AND SHOWER/TUBS.
5. LIGHTING AND CEILING FIXTURES ARE SHOWN FOR LOCATION ONLY. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL LIGHTING AND FIXTURE INFORMATION.
6. DOORS LOCATED AT CORNERS WITHOUT DIMENSIONS ARE TYPICAL 4" FROM INSIDE FACE OF NEAREST STUD, UNLESS OTHERWISE NOTED.
7. APARTMENTS TO HAVE INTERCONNECTED SMOKE ALARMS WITHIN EACH UNIT IN ADDITION TO "SOUNDER" FROM THE BUILDING FIRE ALARM SYSTEM.
8. ALL LIGHT FIXTURES TO BE CENTERED IN ROOM, UNLESS OTHERWISE NOTED.
9. ALL RECESSED LIGHT FIXTURES TO BE IC-RATED, UNLESS REQUIRED BY PREVAILING CODE TO MAINTAIN ONE-HOUR RATING, OR UNLESS OTHERWISE NOTED.

FINISH NOTES

1. PROVIDE PAINT APPLICATION APPROPRIATE TO THE SUBSTRATE TO WHICH IT IS TO BE APPLIED.
2. ALL EXPOSED GYP. BD. SURFACES ARE TO RECEIVE NEW PAINT FINISH. PREP ALL SURFACES AS REQUIRED FOR NEW PAINT FINISH. PROVIDE ONE PRIME COAT PLUS TWO FINISH COATS
3. CHANGES IN FLOOR MATERIALS THAT OCCUR AT FRAMED DOOR OPENINGS SHALL OCCUR AT THE CENTERLINE OF THE DOOR IN THE CLOSED POSITION.
4. ANY DECORATIONS USED SHALL BE NON-COMBUSTIBLE OR FLAME - RETARDANT TREATED IN AN APPROVED OF MANNER (CURTAINS, DRAPES, SHADES, HANGINGS, ETC.)
5. ALL INTERIOR PARTITIONS, CEILING FINISHES AND TRIM OF PUBLIC AREAS TO COMPLY WITH CLASS 1 MATERIAL CLASSIFICATION; FLAME SPREAD RATING 0 TO 25, SMOKE DEVELOPED 200. ALL INTERIOR WALL AND CEILING FINISHES AND TRIM OF NON-PUBLIC AREAS TO COMPLY WITH CLASS 2 MATERIAL CLASSIFICATION; FLAME SPREAD RATING 26 TO 75, SMOKE DEVELOPED 450.
6. FLOOR COVERINGS OF PUBLIC AREAS TO MEET CLASS A INTERIOR FLOOR FINISH REQUIREMENTS; CRITICAL RADIANT FLUX OF 0.45 WATTS PER SQUARE CENTIMETER OR HIGHER, FLOOR COVERINGS OF NON-PUBLIC AREAS TO MEET CLASS B INTERIOR FLOOR FINISH REQUIREMENTS; CRITICAL RADIANT FLUX BETWEEN 0.22 WATTS PER SQUARE CENTIMETER AND 0.44 WATTS PER SQUARE CENTIMETER.
7. CARPET INSTALLATION TO MEET THE GUIDELINES OF THE CARPET AND RUG INSTITUTE-CRI CARPET INSTALLATION STANDARD-CURRENT EDITION.
8. PROVIDE FINISHED SCRIBE STRIPS AND FINISHED MILLWORK EDGES TO CREATE A FINISHED REVEAL CONDITION WHERE MILLWORK COUNTERS, CABINETS, ETC. "ABUT" ADJACENT PARTITION CONSTRUCTION. ALL EXPOSED REVEAL SURFACES AND EDGES TO HAVE SAME PLASTIC LAMINATE FINISH AS THE CASEWORK ITEM THEY "ABUT".

AXIS GFA

801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

NO	DATE	ISSUES & REVISIONS

SCALE AS SHOWN

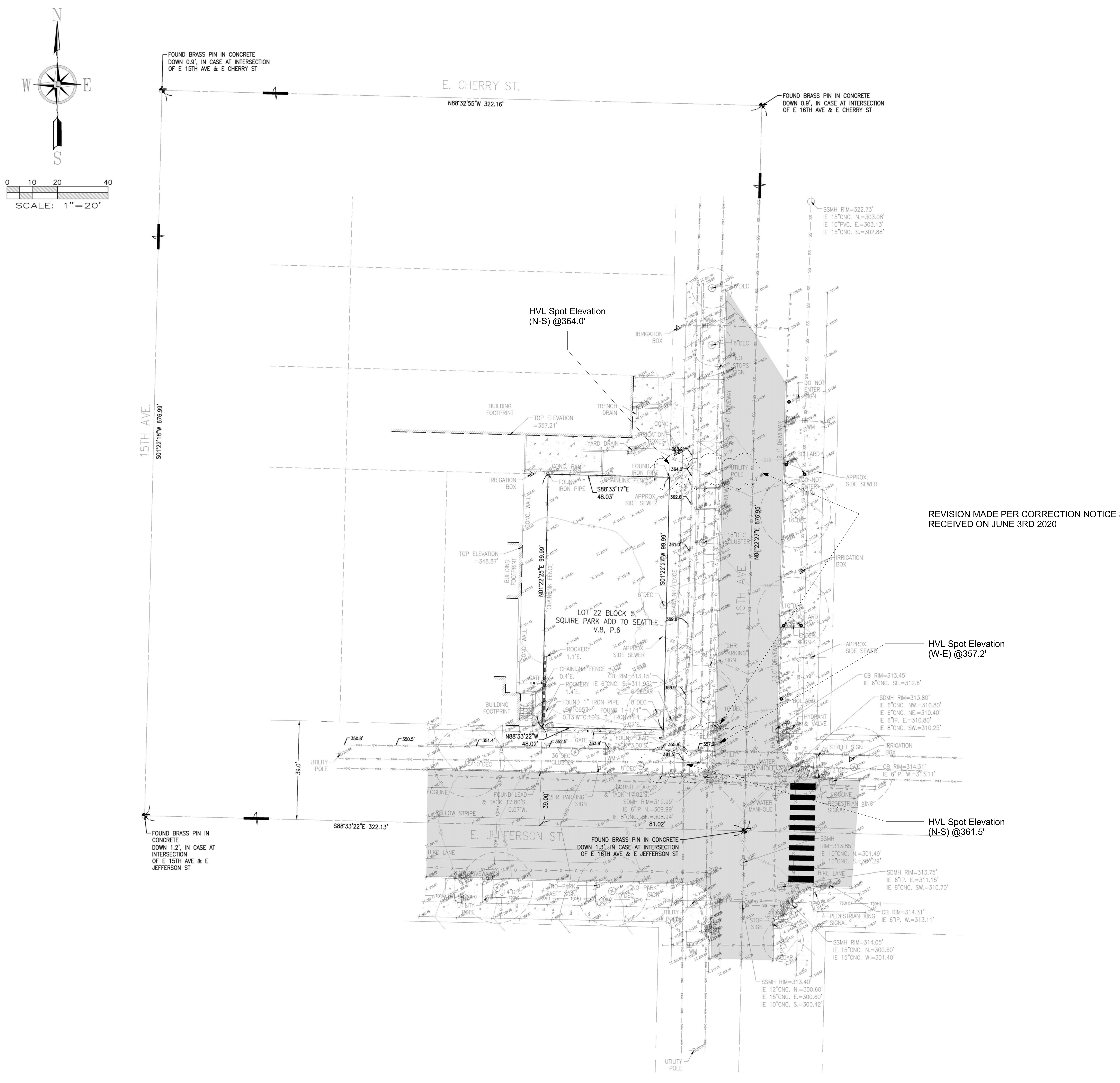
PROJECT NUMBER 22030

DESCRIPTION
GENERAL NOTES, ABBREVIATIONS, SYMBOLS

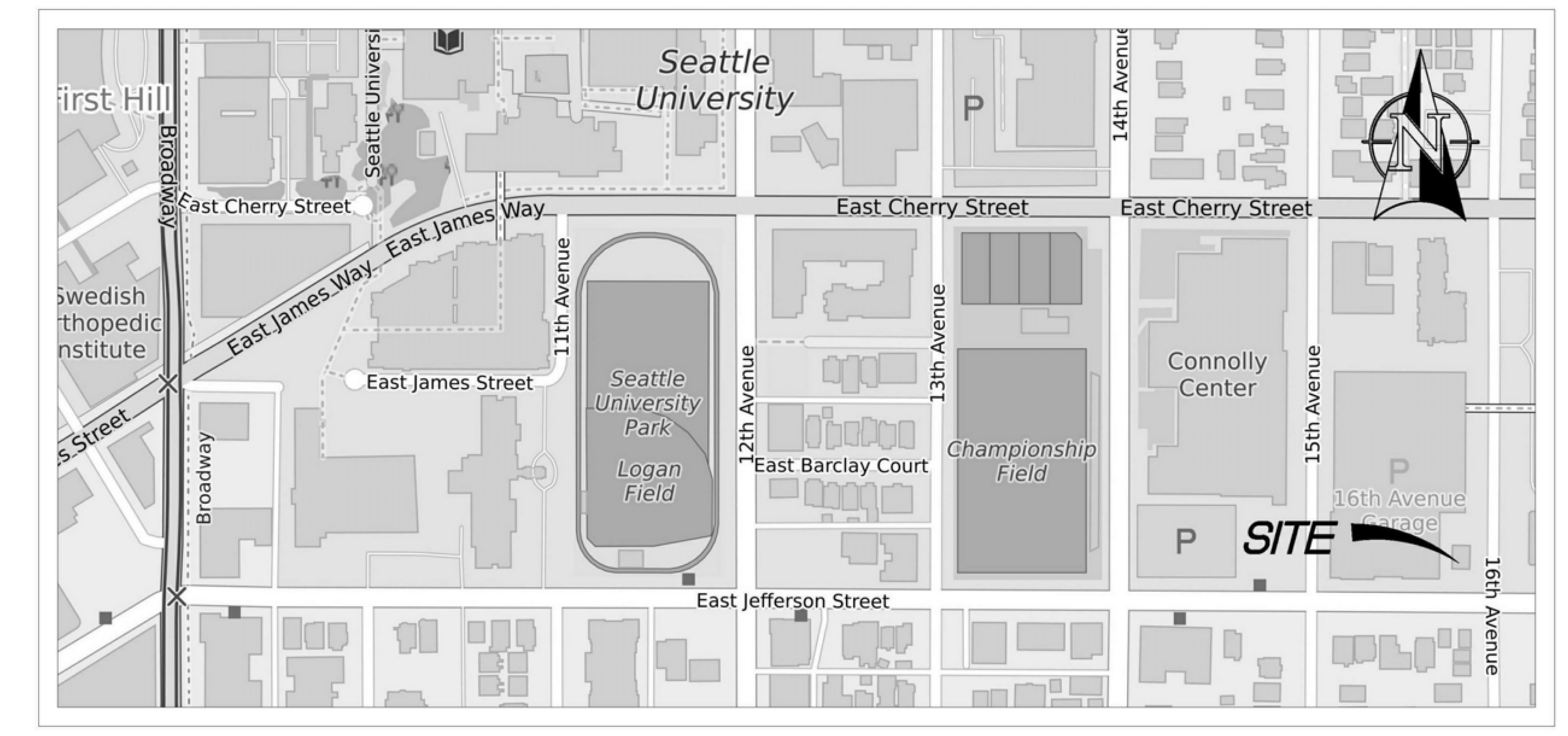
SHEET NUMBER

G0.01

BOUNDARY & TOPOGRAPHIC SURVEY



VICINITY MAP N.T.S.



SURVEY INFORMATION

LEGAL DESCRIPTION PER PERSONAL REPRESENTATIVE'S DEED, RECORDED UNDER RECORDING NO. 20131223001359.

LOT 22, BLOCK 5, SQUIRE PARK ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 6, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON.

ASSESSOR'S PARCEL NUMBER AND AREA
794260-0795 AT 4,802 SQ. FT.±

PROPERTY ADDRESS
1522 EAST JEFFERSON STREET, SEATTLE, WA 98122

FEMA FLOOD INFORMATION
SITE IS LOCATED FEMA FIRM PANEL 53033C0635F, PANEL NOT PRINTED FOR THIS AREA

BASIS OF BEARING (NAD83(91))
BASIS OF NAD83(91) DATUM FOR THIS SURVEY WAS A LINE BETWEEN A WSDOT BRASS DISK KNOWN AS 125 AND ANOTHER KNOWN AS 7128 AND THEIR SUPERCEDED CONTROL VALUES. BEARING BETWEEN THESE MONUMENTS WAS TAKEN AS N76°48'09"W

BASIS OF ELEVATION (NAVD88 PER CITY OF SEATTLE)
BASIS OF NAVD88 DATUM WAS PER OBSERVATION ON PUBLISHED CITY OF SEATTLE CONTROL MONUMENT SNV-2630 TAKEN AS AN ELEVATION OF 71.87 FEET

VERTICAL RELATIONSHIP WAS MEASURED TO SEATTLE BENCHMARK 3773-4201 WITH A DIFFERENCE IN OBSERVED TO PUBLISHED OF -0.04'.

NOTES
1. ALL DISTANCES SHOWN ON THIS SURVEY ARE IN US SURVEY FOOT.

2. UTILITIES ARE SHOWN PER SURFACE OBSERVATIONS, UTILITY PAINT MARKINGS PER PRIVATE UTILITY LOCATOR ENLISTED AS PART OF THIS SURVEY AND OTHER AVAILABLE DATA.

3. SURVEY WAS PERFORMED IN AUGUST 2016 AND ALL MONUMENTS SHOWN AS FOUND WERE VISITED AT THIS TIME.

4. THIS SURVEY IS A RETRACEMENT OF THE DEEDED DESCRIPTION STATED ABOVE AND DOES NOT PURPORT TO SHOW ANY UNRECORDED OWNERSHIP RIGHTS.

5. THIS SURVEY DOESN'T PURPORT TO SHOW ALL EASEMENTS OF RECORD. NO TITLE REPORT WAS PROVIDED.

6. THIS PROPERTY IS SUBJECT TO A RECIPROCAL TEMPORARY EASEMENTS FOR PLACEMENT OF SOIL NAILS & COVENANT REGARDING FUTURE ENTITLEMENTS AGREEMENT AS RECORDED UNDER RECORDING NUMBER 2007032001359. EASEMENT IS BLANKET IN NATURE

PROCEDURE / NARRATIVE:
A FIELD TRAVERSE USING A FOCUS 35 ROBOTIC TOTAL STATION AND A SPECTRA PRECISION RANGER 3 DATA COLLECTOR SUPPLEMENTED WITH FIELD NOTES AND TOPCON GR5 NETWORK RTK GPS ROVER, WAS PERFORMED, ESTABLISHING THE ANGULAR, DISTANCE, AND VERTICAL RELATIONSHIPS BETWEEN THE MONUMENTS, PROPERTY LINES AND IMPROVEMENTS. THE RESULTING DATA MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC 332-130-090.

REFERENCES

R1) THE SQUIRE PARK ADDITION TO THE CITY OF SEATTLE, VOLUME 8, PAGE 6.
R2) CITY OF SEATTLE QUARTER SECTION MAP TILE #350, SW QUARTER SEC. 33, TWP. 25 N, RNG. 4E, WM, DATED JANUARY 12, 2015
R3) CITY OF SEATTLE SEWER CARD NO. 370, DATED 10/17/2001
R4) PUGET SOUND ENERGY GIS MAPS FOR GAS, DATED 7/28/2016

LEGEND

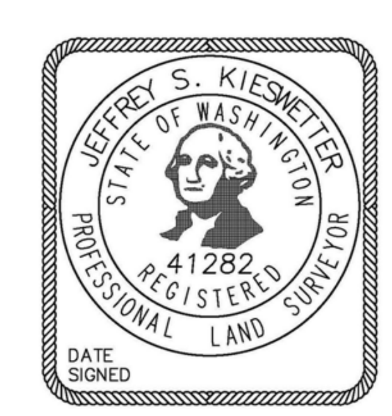
(NOTE: NOT ALL SYMBOLS MAY APPEAR ON THE MAP)

SURVEY MONUMENT (AS NOTED)
SECTION CORNER (AS NOTED)
SET REBAR/CAP (LS#45789)
FOUND REBAR/CAP (AS NOTED)
SET 2"X2" HUB/TACK LINE STAKE
MAG/WASHER OR LEAD/TACK (AS NOTED)
BENCHMARK
LUMINAIRE (LUM.)
YARD LIGHT
ORNAMENTAL LIGHT
TRAFFIC SIGNAL LIGHTS
POWER METER
POWER POLE
JUNCTION BOX (AS NOTED)
TELEPHONE MANHOLE
CATCH BASIN (CB)
STORM MANHOLE (SDMH)
SANITARY SEWER MANHOLE (SSMH)
CLEANOUT (AS NOTED)
GAS METER
GAS VALVE
WATER VALVE (WV)
FAUCET
FIRE HYDRANT(FH) / CONNECTION(FDC)
WATER MANHOLE
WATER METER
BLOW-OFF / AIRVAC
MONITOR WELL
SIGN
IRRIGATION SPRINKLER
DIRECTIONAL ARROW
HANDICAP

CHAIN LINK FENCE
WOOD FENCE
HOGWIRE FENCE
SILT FENCE
METAL/IRON FENCE
GUARD RAIL/CABLE FENCE
WATER LINE
GAS LINE
STEAM LINE
TELEPHONE LINE (OH) OR (UG)
POWER LINE (OH) OR (UG)
STORM LINE
SEWER LINE
ROCKERY
KEYSTONE WALL
DECIDUOUS TREE
CONIFEROUS TREE
TREE DRIPLINE
CONCRETE
GRAVEL/SAND (AS NOTED)
ASPHALT
BUILDING LINE

ABBREVIATIONS

(R#)	REFERENCE SURVEYS
(OH)	OVERHEAD
(UG)	UNDERGROUND
(TYP)	TYPICAL
(C)	CALCULATED
(M)	MEASURED



SURVEYOR'S CERTIFICATE:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT IS BASED WERE MADE BY ME OR UNDER MY DIRECTION AND CORRECTLY REFLECTS THE CONDITIONS OF THIS SITE AS OF THE DATE OF THE FIELD SURVEY.

JEFFREY S. KIESWETTER P.L.S. DATE
WASHINGTON REGISTRATION NO. 41282

No.	Date	By	Ckd.	Appr.	Revision

Title:
BOUNDARY & TOPOGRAPHIC SURVEY
PTN OF THE SW1/4, OF THE SW1/4 OF SEC. 33,
TWP. 25 N., RGE 4 EAST, W. M.
CITY OF SEATTLE KING COUNTY WASHINGTON

For:
PERFECT WEALTH INVESTMENT LLC
c/o TERRENCE LIU
1641 EVERGREEN POINT RD.
MEDINA WA 98039

Scale: Horizontal 1"=20' Vertical

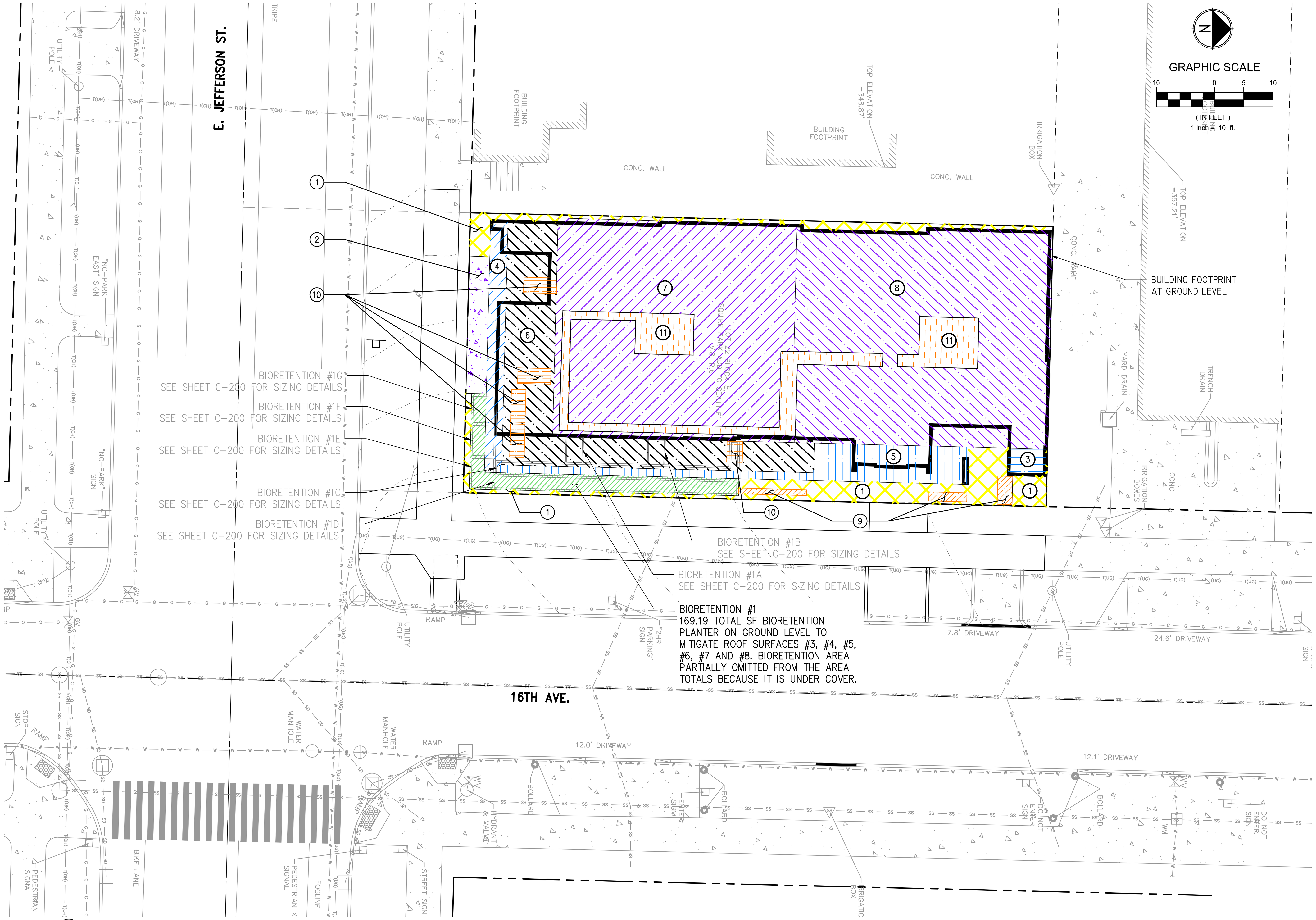
Designed ___
Drawn TL
Checked TSL
Approved JSK
Date 9/6/16

LANKTREE
LAND SURVEYING, INC.
421 "B" STREET N.E., AUBURN, WA 98002
PHONE: (253) 653-6423
FAX: (253) 793-1616
WWW.LANKTREELANDSURVEYING.COM

SITE SURVEY

S 100

File: W:\01Projects\CHPR_EJeffMixUse_Cherry Hill Patient recovery\Revit\Linked CAD\Site Survey\ACAD-2259T001 Site Survey.dwg Date/Time: Aug 24, 2020 - 1:29pm Scale: 1"=5' Xrefs:



1 OSSM AREAS SUMMARY PLAN

SCALE : 1" = 10'

SURFACE #	LEGEND	AREA (SF)	DRAINS TO
1		361 SF PATIO/WALKWAY–GROUND LEVEL	E JEFFERSON ST AND 16TH AVE.
2		82 SF BYPASS AREA 1	COMBINED SEWER
3		31 SF HARD ROOF–LEVEL 1	BIORETENTION #1
4		127 SF HARD ROOF–LEVEL 2	BIORETENTION #1
5		244 SF HARD ROOF–LEVEL 2	BIORETENTION #1
6		521 SF HARD ROOF–LEVEL 4	BIORETENTION #1
7		1338 SF HARD ROOF–ROOF LEVEL	BIORETENTION #1
8		1491 SF HARD ROOF–ROOF LEVEL	BIORETENTION #1
9		34 SF GREEN ROOF–GROUND LEVEL	–
10		68 SF GREEN ROOF–LEVEL 4	–
11		336 SF GREEN ROOF–ROOF LEVEL	–
12		169 SF BIORETENTION #1 (GROUND LEVEL)	COMBINED SEWER
		.... TOTAL = 4,802 SF	

NOTE

THIS DIAGRAM DOES NOT ACCOUNT FOR PORTIONS OF BIORETENTION PLANTERS THAT ARE UNDER COVER. FOR BIORETENTION PLANTER DETAILS REFER TO THE SECTION ON SHEET C-200 AND C-401

On-site Stormwater Management - List Approach Calculator
Site and Drainage Control Summary

Version 07-28-2017

To use the On-Site List Calculator you must select "Enable Content" when the Security Warning appears.

Project Information

Site Address	1522 E Jefferson St	SDCI Project Number	6802121-CN
Primary Contact	Marsha Mawer-Olson	SDOT Project Number	
Project Type	Parcel-Based	Primary Contact E-mail or Phone	mmawer-olson@axisgfa.com

Total Site Area	4,802	sf
Total New plus Replaced Hard Surface Area	4,633	sf
Existing Hard Surface Area to Remain	0	sf
Total New and/or Replaced Lawn and Landscaping	169	sf ← BIORETENTION AREA SUBJECT TO RAINFALL
Undisturbed and protected site area	0	sf
Was the project lot created or reduced in size after Jan 1, 2016?	No	

Project Engineer: Bret Johnson — Engineer E-mail: bjohnson@dci-engineers.com

On-site Stormwater Management required for ≥ 1,500 sf of new plus replaced area.

On-site Performance Standard will be used (professional engineer required)? No

Site Information

Note: If required for your project, reference the Preliminary Assessment Report (PAR) to complete this section. If the total areas proposed are different form those provided in the PAR, requirements may change.

Approved Point of Stormwater Discharge	Public Combined Sewer Main
Drainage Basin	Combined Sewer Service Area
Is the downstream drainage system considered Capacity Constrained by SPU?	No
Approved Point of Wastewater Discharge	Public Combined Sewer Main
Approved Point of Sub-Surface Discharge	Public Combined Sewer Main
Flow Control is required	No
Flow Control Standard	
Water Treatment for pollution-generating surfaces is required	No
Select required treatment: ☐ Oil Control ☐ Phosphorus ☐ Enhanced ☐ Basic	
Total Pollution Generating Hard Surface Area	sf
Total Pollution Generating Pervious Surface Area	sf
Source Control is required	No
Environmentally Critical Areas	No
☐ Steep Slope ☐ Potential Slide ☐ Riparian Corridor ☐ Wetland ☐ Liquefaction ☐ Flood Prone ☐ Landfill ☐ Known Landslide ☐ Fish / Wildlife ☐ Peat / Groundwater Management ☐ Shoreline Habitat	
Temporary dewatering required	No
Permanent dewatering required	No
Is there known soil and/or groundwater contamination on this site?	No
A licensed professional recommends dispersion not be used anywhere within the project site due to reasonable concerns of erosion, slope failure, or flooding.	No

Infiltration Information

Is infiltration investigation required?	Yes	Type of test:	Simple infiltration test
Is infiltration on the site feasible?	No	Why?	Site cannot meet required horizontal setbacks

Site Measured Infiltration Rate ___ x Infiltration Rate Correction Factor 0.5 = 0 Site Design Inf Rate

On-site Stormwater Management

Number of roof areas: 6

Number of other surface areas: 5

Surface	Surfaces Description	On-site BMP	Contrib. Area (sf)	Facility Size (sf)	Facility Configuration
1	Surface:Patio/Walkway-I	None Feasible	361	-	-
2	Surface:ByPass Area #1-I	None Feasible	82	-	-
3	Roof:Roof Surface #1	Non-Infiltrating Bioretention #1	31	210 sf	Vertical sides 6 inch
4	Roof:Roof Surface #2	Non-Infiltrating Bioretention #1	127	^	^
5	Roof:Roof Surface #3	Non-Infiltrating Bioretention #1	244	^	^
6	Roof:Roof Surface #4	Non-Infiltrating Bioretention #1	521	^	^
7	Roof:Roof Surface #5	Non-Infiltrating Bioretention #1	1,338	^	^
8	Roof:Roof Surface #6	Non-Infiltrating Bioretention #1	1,491	^	^
9	Surface:Green Roof Grou	Vegetated Roof System #1	34	34 sf	4 inch Single-Course
10	Surface:Green Roof-Leve	Vegetated Roof System #2	68	68 sf	4 inch Single-Course
11	Surface:Green Roof-Roof	Vegetated Roof System #3	336	352 sf	4 inch Single-Course

Total New/Replaced Roof Area	3,752	Total Roof Area Managed	4,190
Total New/Replaced Other Surface Area	881	Total Other Surface Managed	438
Total Area Managed	4,628	Total Volume Managed On Site	30,268 gal
Estimated compost required for soil amendment	1.0478 cy	*Volume of compost required for soil amendment will be verified by the DPD Site Inspector for SDCI permitted projects.*	

seattle.gov

2 OSSM CALCULATOR SUMMARY WORKSHEET

FINAL DOCUMENTS WILL BE STAMPED AND SIGNED IN ACCORDANCE WITH WAC 196-23-020 (1)

NOTE:

MUP RESUBMITTAL

MUP #302550

KEY PLAN:

ARCHITECT:

DCI ENGINEERS
818 STEWART STREET • SUITE 1000
SEATTLE, WASHINGTON 98101
PHONE: (206) 332-1900 • FAX: (206) 332-1600
WEBSITE: www.dci-engineers.com
CIVIL / STRUCTURAL

ISSUED/REVISED DATE

PROJECT NAME:

CANDLEWOOD SUITES AT CHERRY HILL
505 16TH AVE
SEATTLE, WA
98122
PARCEL # 794260-0795

PROJECT NUMBER: 22012-0009

PRINCIPAL IN CHARGE	
PROJ. MANAGER	
PROJ. ARCHITECT	
PROJ. DESIGNER	
LANDSCAPE DESIGNER	
CODE REVIWER	
BIM MANAGER	
DATE	3/19/24
REV NO.	
PROJECT NO.	

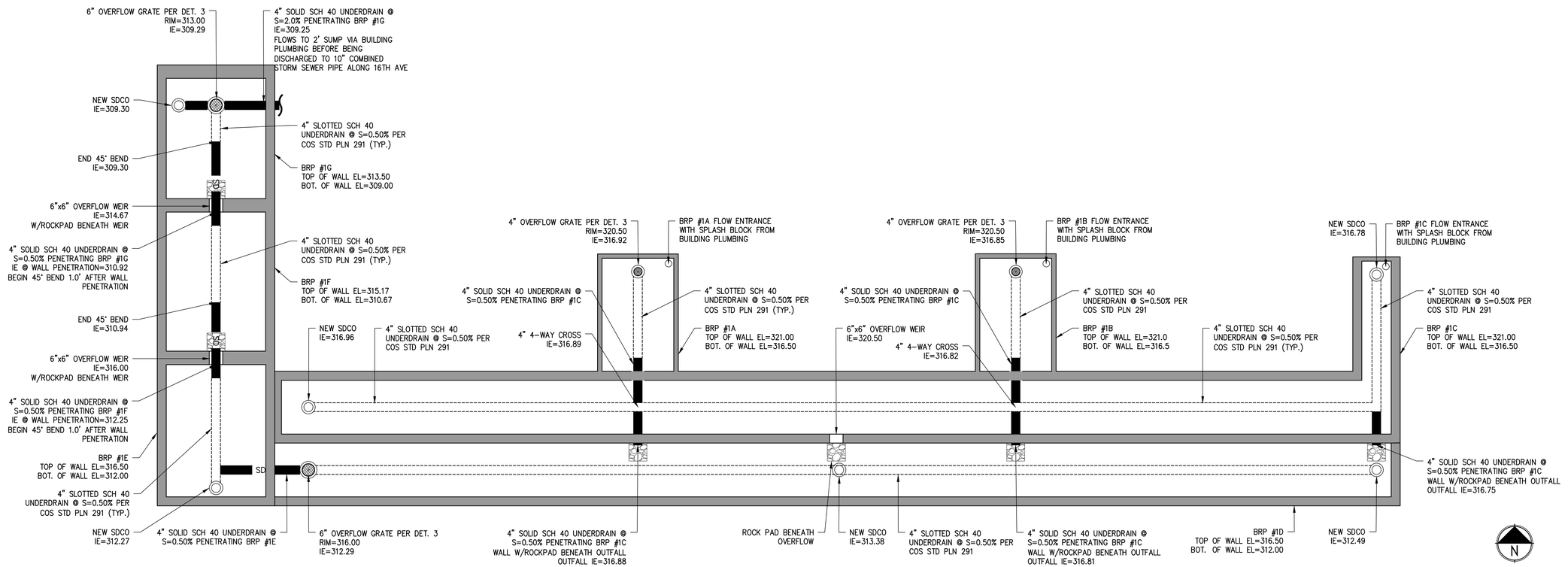
DRAWING TITLE

OSSM AREAS

C-400

Know what's below. Call before you dig.

Plot Date: 2024-03-18 File Location: O:\0120-Seattle\Dci-Civil\2018\18012-0002-1522-E-Jefferson\dwg\exhibits\OSSM AREAS MUP Resubmittal.dwg



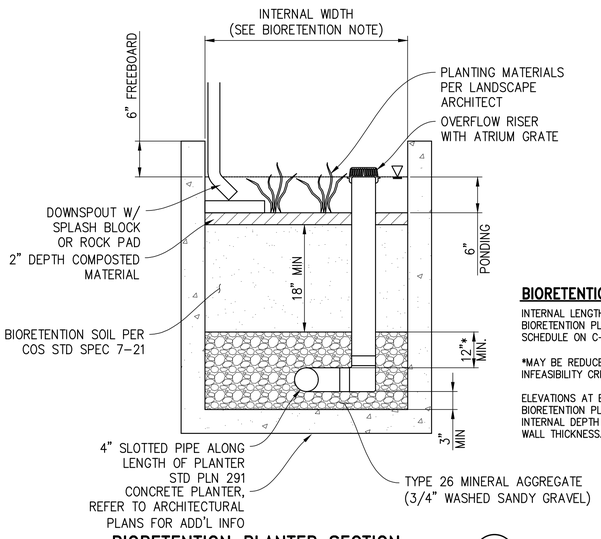
GRAPHIC SCALE

2 0 1 2

(IN FEET)
1 inch = 2 ft.

BIORETENTION PLANTER DETAILS

SCALE : 1" = 2'



BIORETENTION PLANTER SECTION

SCALE : 1"=1'

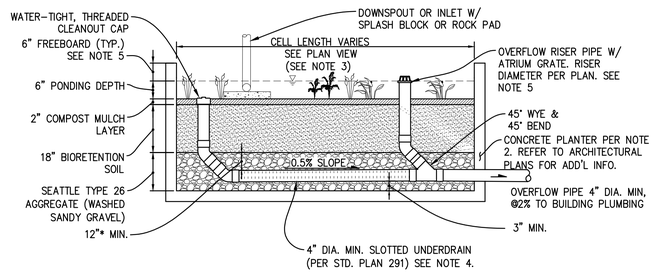
1

BIORETENTION NOTE

INTERNAL LENGTH AND WIDTH PER BIORETENTION PLANTER SIZING SCHEDULE ON C-200.

*MAY BE REDUCED TO 6" FOR CERTAIN INFEASIBILITY CRITERIA.

ELEVATIONS AT BOTTOM OF BIORETENTION PLANTER SPECIFIES INTERNAL DEPTH EXCLUDING PLANTER WALL THICKNESS.



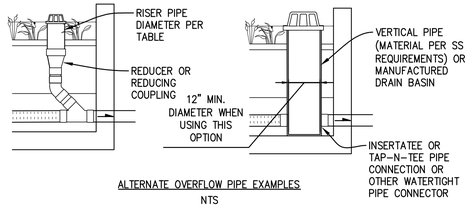
BIORETENTION PLANTER SECTION

SCALE : NTS

2

NOTES:

1. SHOW BIORETENTION PLANTER AREA & WALL DIMENSIONS ON THE DRAINAGE CONTROL PLAN.
2. ALTERNATIVE PLANTER WALL/BOTTOM MATERIALS ARE ALLOWED (EG. STEEL PLATES). IF THE MATERIAL IS NOT WATER-TIGHT, AN IMPERMEABLE LINER IS REQUIRED AND MUST EXTEND TO THE MAXIMUM WATER LEVEL. ADDITIONAL WATERPROOFING IS RECOMMEND FOR PLANTERS THAT ABUT BUILDINGS.
3. PLANTER BOTTOM SHALL HAVE A MINIMUM WIDTH OF 2 FEET (INSIDE DIMENSION) IN ANY DIRECTION.
4. SLOTTED DRAIN PIPE SHALL RUN THE LENGTH (LONG DIMENSION) OF THE PLANTER.
5. SEE THE BIORETENTION OVERFLOW RISER AND FREEBOARD DIMENSIONS DETAIL/TABLE FOR REQUIRED RISER DIAMETER AND MINIMUM REQUIRED FREEBOARD.
6. BMP SHALL CONNECT TO AN EXISTING OR NEW CB WITH A MINIMUM OF A 2' SUMP AND DOWN TURNED ELBOW.
7. SEE SEATTLE STORMWATER MANUAL VOL. 3, SEC. 5.8.2 AND 5.4.4 FOR ADDITIONAL REQUIREMENTS.



ALTERNATE OVERFLOW PIPE EXAMPLES

NTS

BIORETENTION OVERFLOW RISER

SCALE : NTS

3

BIORETENTION OVERFLOW RISER AND FREEBOARD TABLE		
TOTAL CONTRIBUTING AREA (SF)	FREEBOARD (INCHES)	RISER DIAMETER (INCHES)
0–2,999	4	4
3,000–7,499	6	6
7,500–9,999	6	8
10,000–14,999	6	12
15,000–20,000*	9	12
*BIORETENTION WITH MORE THAN 20,000 SF OF CONTRIBUTING AREA REQUIRES SIZING BY A LICENSED CIVIL ENGINEER.		

Know what's below. Call before you dig.

NOTE:

MUP RESUBMITTAL

MUP #302550

KEY PLAN:

ARCHITECT:

DCI ENGINEERS
818 STEWART STREET • SUITE 1000
SEATTLE, WASHINGTON 98101
PHONE: (206) 332-1900 • FAX: (206) 332-1600
WEBSITE: www.dci-engineers.com
CIVIL / STRUCTURAL

ISSUED/REVISED DATE

FINAL DOCUMENTS WILL BE STAMPED AND SIGNED IN ACCORDANCE WITH WAC 196-23-020 (1)

PROJECT NAME:

CANDLEWOOD SUITES AT CHERRY HILL
505 16TH AVE
SEATTLE, WA
98122
PARCEL # 794260-0795

PROJECT NUMBER: 22012-0009

DAMON A. SANTA — STATE OF WASHINGTON — 0028632 — REGISTERED PROFESSIONAL ENGINEER

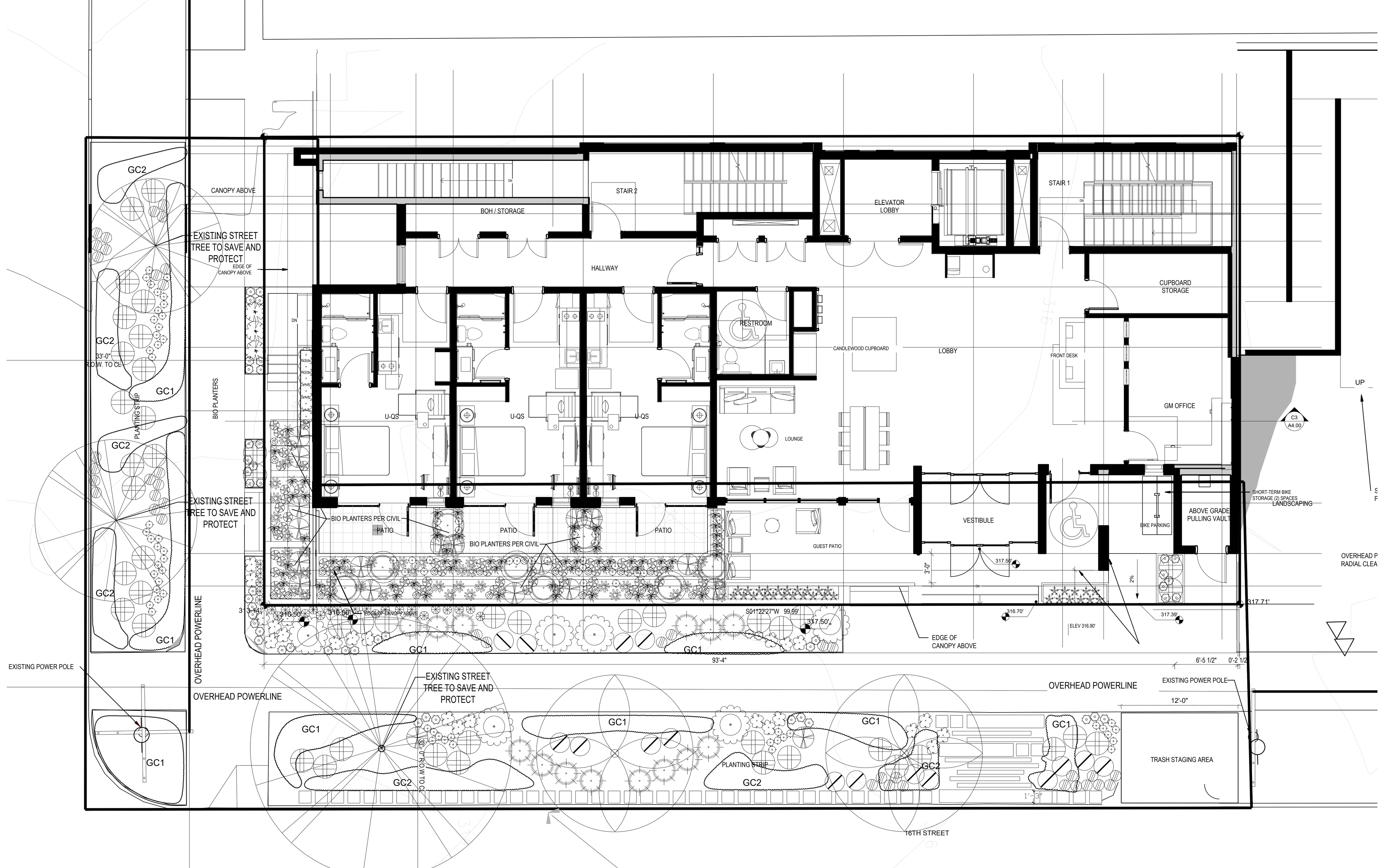
PRINCIPAL IN CHARGE	
PROJ. MANAGER	
PROJ. ARCHITECT	
PROJ. DESIGNER	
LANDSCAPE DESIGNER	
CODE REVIWER	
BIM MANAGER	
DATE	3/19/24
REV NO.	
PROJECT NO.	

DRAWING TITLE

BIORETENTION PLANTER DETAILS

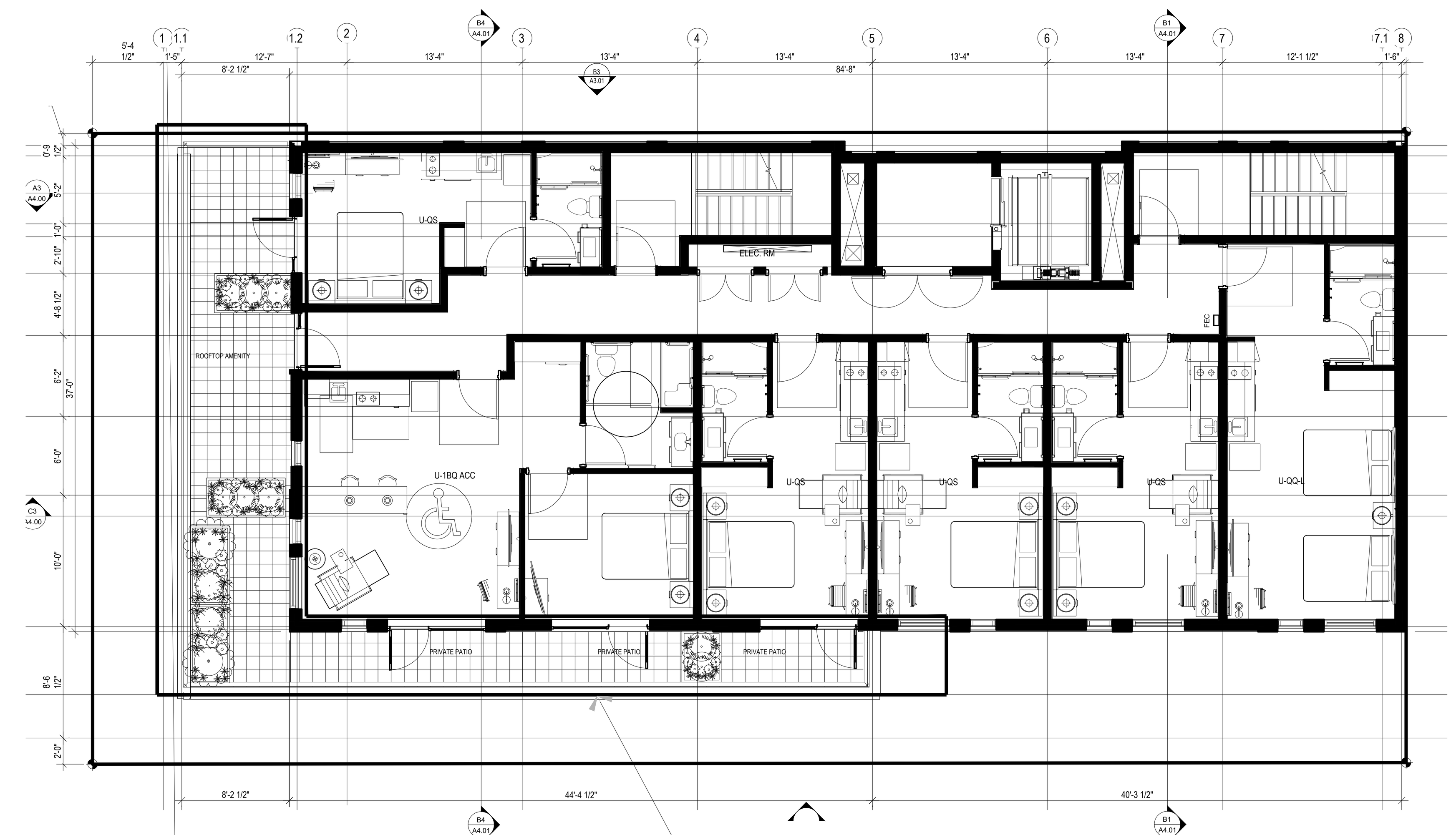
C-401

Plot Date: 2024-03-18 File Location: C:\0120-Seattle\Dcs-Civil\2018\18012-0002-1522-E-Jefferson\dwg\exhibits\GSSM AREAS MUP Resubmittal.dwg



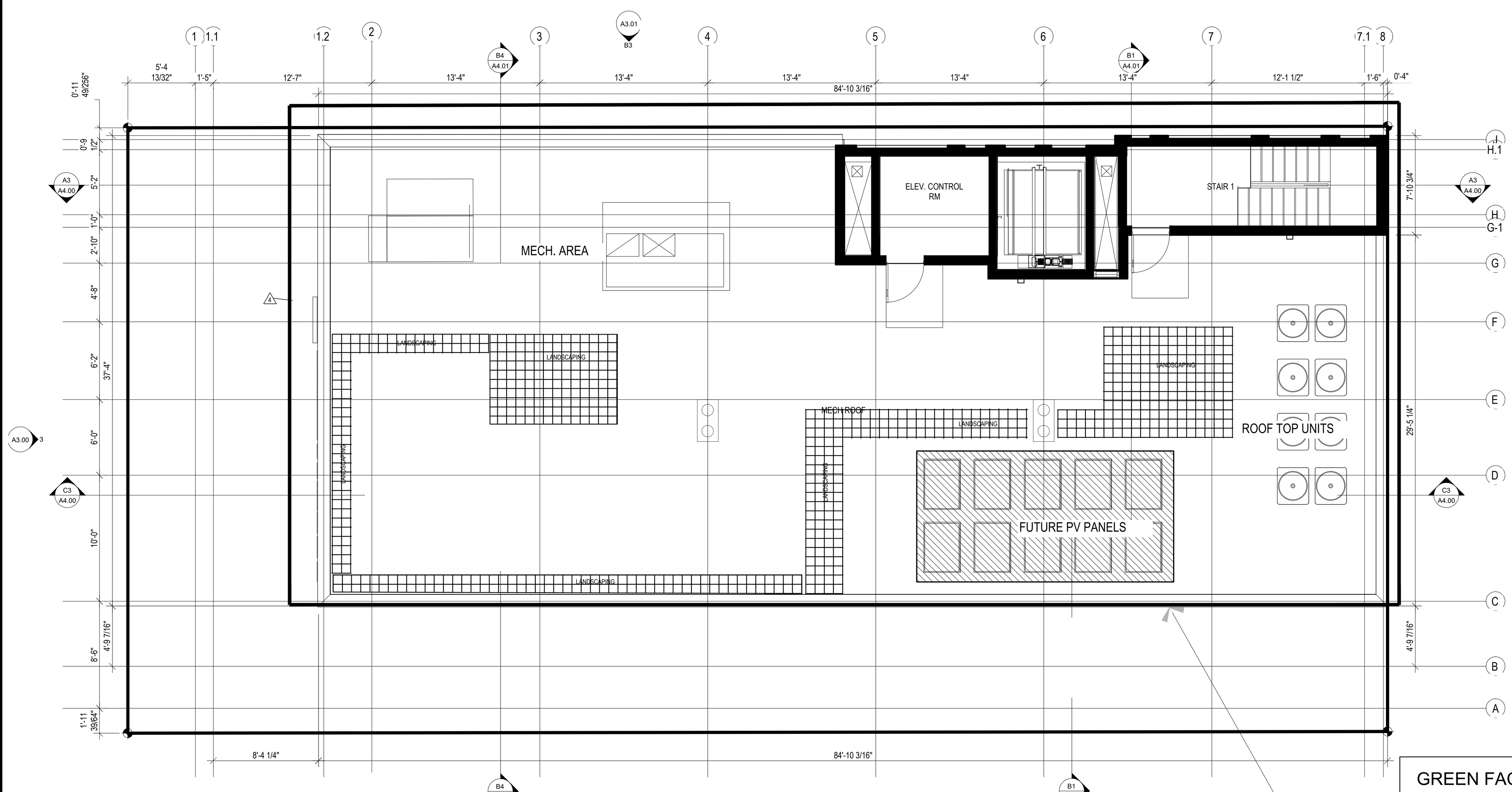
1 GROUND LEVEL PLAN
NTS

GREEN FACTOR AREA: GROUND LEVEL (L1)
A1: 1750 S.F. LANDSCAPING AREA (24" SOIL DEPTH OR GREATER)
A2: 254.0 S.F. BIO RETENTION FACILITIES
B1: 215.8 S.F. GROUND COVER, OTHER PLANTS LESS THAN 2'
B2: 60 SHRUBS 2' + MATURITY
B6: 2 TREES (CANOPY FOR MEDIUM TREES)
B8: 24 DBH TREE CANOPY FOR PRESERVATION
F: 200 S.F. STRUCTURAL SOIL SYSTEM
G1: 1750.0 S.F. DROUGHT-TOLERANT OR NATIVE PLANT SPECIES
G3: 215.8 S.F. VISIBLE TO PASSERBY



2 TERRACE LEVEL (L4) PLAN
NTS

GREEN FACTOR AREA: TERRACE LEVEL (L4)
A1: 69.3 S.F. LANDSCAPING AREA (24" SOIL DEPTH OR GREATER)
B1: 69.3 S.F. GROUNDCOVER, SHRUBS LESS THAN 2'
B2: 12 SHRUBS 2' + MATURITY



3 ROOFTOP PLAN
NTS

GREEN FACTOR AREA: ROOFTOP
B1: 336.0 S.F. GROUND COVER, OTHER PLANTS LESS THAN 2'
C2: 336.0 S.F. OVER 4" OF GROWTH MEDIUM
G1: 336.0 S.F. DROUGHT-TOLERANT OR NATIVE PLANT SPECIES

Green Factor Worksheet

SEATTLE

CANDLEWOOD SUITES

Landscape Elements	Measurement	Planting Area: GROUND	TERRACE	ROOF TOP		Total
		Step 1. Enter all values for Green Factor landscape elements here. Values entered here will automatically populate the Score Sheet. Step 2. Go to the Score Sheet and enter the size of the development site. Step 3. Check the Score to make sure your project				
A1	*square feet*	1750	69.3			1819.3
A2	*square feet*	254		0		254
B1	*square feet*	215.8	69.3	336		621.1
B2	*# of plants*	42	12			54
B3	*# of plants*					0
B4	*# of trees*					0
B5	*# of trees*					0
B6	*# of trees*	2				2
B7	*# of trees*					0
B8	*Inches DBH*	24				24
C1	*square feet*					0
C2	*square feet*			336		336
C3	*square feet*					0
D	*square feet*					0
E1	*square feet*					0
E2	*square feet*					0
F	*square feet*	200				200
G1	*square feet*	1750		336		2086
G2	*square feet*					0
G3	*square feet*	215.8				215.8
G4	*square feet*					0

REVISED 07-07-2020

Green Factor Scoresheet PAGE 1

SEATTLE×green factor

Project title:

Enter sq ft of parcel
Parcel size 4,802
SCORE 0.616274

Landscape Elements**	Totals calculate automatically from Green Factor Worksheet		Factor	Total
A Planted areas				
1 Planted areas with a soil depth of 24" or greater		1819.3 square feet	0.6	1,092
2 Bioretention facilities		254 square feet	1	254
B Plantings (credit for plants in landscaped areas from Section A)				
1 Mulch, ground covers, or other plants less than 2' tall at maturity		621.1 square feet	0.1	62
2 Medium shrubs or perennials 2'-4' tall maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)	54 plants	486	0.3	146
3 Large shrubs or perennials 4'+ at maturity - calculated at 36 sq ft per plant (typically planted no closer than 24" on center)	0 plants	0	0.3	0
4 **Small Trees** Tree canopy for "Small Trees" or equivalent (canopy spread of 8' to 15') - calculated at 75 sq ft per tree	1 trees	75	0.3	23
5 **Small/Medium Trees** Tree canopy for "Small/Medium Trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	0 trees	0	0.5	0
6 **Medium/Large Trees** Tree canopy for "Medium/Large Trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	2 trees	500	0.7	350
7 **Large Trees** Tree canopy for "Large Trees" or equivalent (canopy spread of 26' or more) - calculated at 350 sq ft per tree	0 trees	0	0.9	0
8 **Preserved Trees** Tree canopy for preservation of existing trees with trunks 6"+ DBH (Diameter at Breast Height, 4.5' above the ground) - calculated at 20 sq ft per inch diameter	24 inches	480	1	480

*** Do not count public rights-of-way in parcel size calculation.**
**** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR XX-2020).**
REVISED 07-07-2020

Green Factor Scoresheet PAGE 2

SEATTLE×green factor

		Factor	Total
C Green roofs			
1 Green roofs over at least 2" and less than 4" of growth medium	0 square feet	0.4	0
2 Green roofs 4" - 8" of growth medium	336 square feet	0.6	202
3 Green roofs 8"+ of growth medium	0 square feet	0.8	0
D Vegetated walls NC, C, SM, and South Downtown zones only	0 square feet	0.4	0
E Permeable paving			
1 Permeable paving over at least 6" and less than 24" of soil or gravel	0 square feet	0.2	0
2 Permeable paving over at least 24" of soil or gravel	0 square feet	0.5	0
F Structural soil systems	200 square feet	0.5	100
sub-total of sq ft =	4,771		
G Bonuses			
1 Landscaping that consists of drought-tolerant and/or native plant species	2086 square feet	0.1	209
2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater or collected greywater	0 square feet	0.2	0
3 Vegetation visible to passersby from adjacent public right of way or public open spaces	215.8 square feet	0.2	43
4 Landscaping in food cultivation	0 square feet	0.1	0
	Green Factor numerator =		2,959

*** Do not count public rights-of-way in parcel size calculation.**
**** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR XX-2020).**
REVISED 07-07-2020

JGM
LANDSCAPE ARCHITECTS
INCORPORATED P.S.
12610 N.E. 104TH STREET
KIRKLAND WA 98033
PH: 425.454.5723
E-: craig@jgm-inc.com
www.jgm-inc.com

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

MASTER USE PERMIT

DISCLAIMER
THIS SET OF DRAWINGS AND DOCUMENTS IS FOR MASTER USE PERMIT SUBMITTAL ONLY AND DOES NOT CONSTITUTE A COMPLETE SET OF DOCUMENTS FOR ANY OTHER PURPOSE.

SUBMITTAL / REVISION	DATE
MUP	3-19-2024

JURISDICTIONAL APPROVAL STAMP

STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
[illegible]
CERTIFICATE NO. 442

SHEET TITLE
GREEN FACTOR

SHEET NUMBER
LA 100

CARON PROJECT NO.

SOUTH PARKING GARAGE

(ZONED MIO-65: CURRENT 65', PLANNED TO REMAIN 65')

JGM
LANDSCAPE ARCHITECTS

12610 N.E. 104TH STREET
KIRKLAND WA 98033
PH: 425.454.5723

E-: craig@jgm-inc.com
www.jgm-inc.com

CANDLEWOOD SUITES AT CHERRY HILL

MASTER USE PERMIT

DISCLAIMER
THIS SET OF DRAWINGS AND DOCUMENTS IS FOR MASTER USE PERMIT SUBMITTAL ONLY AND DOES NOT CONSTITUTE A COMPLETE SET OF DOCUMENTS FOR ANY OTHER PURPOSE.

△	SUBMITTAL / REVISION	DATE
	MUP 3-19-2024	

JURISDICTIONAL APPROVAL STAMP

SHEET TITLE
GROUND LEVEL PLANTING

SHEET NUMBER
LA 101

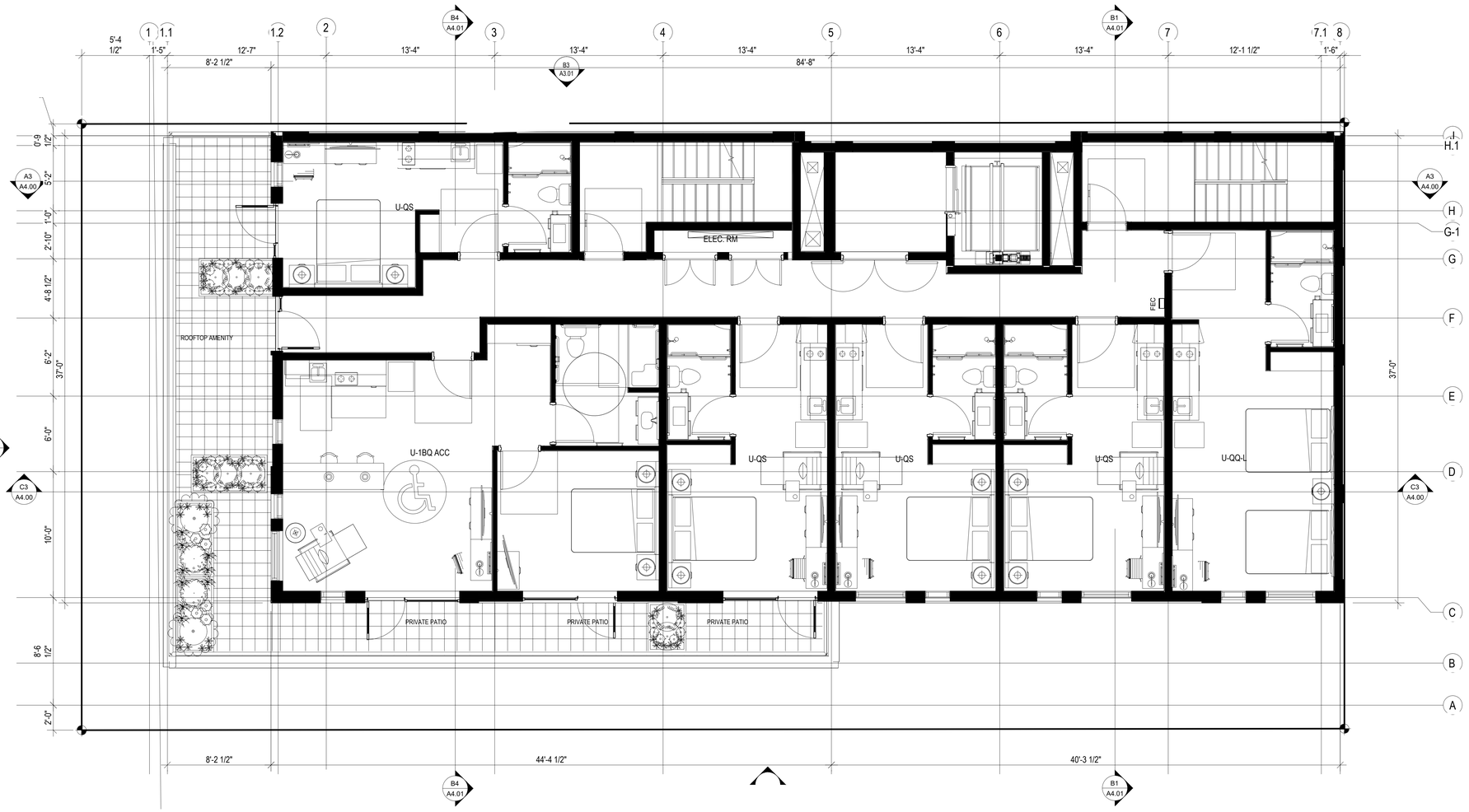
CARON PROJECT NO.

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
CERTIFICATE NO. 442

1 GROUND LEVEL LANDSCAPE PLAN
1/4"=1'-0"

SEE SHEET LA 104 FOR PLANTING SCHEDULE

SCALE: 1/4"=1'-0"
0' 5' 10' 15'



SCALE: 1/4"=1'-0"

0' 5' 10' 15'

N

1 TERRACE LANDSCAPE PLAN
1/4"=1'-0"

SEE SHEET LA 104 FOR PLANTING SCHEDULE

JGM LANDSCAPE ARCHITECTS

12610 N.E. 104TH STREET
KIRKLAND WA. 98033
PH: 425.454.5723

E-: craig@jgm-inc.com
www.jgm-inc.com

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

MASTER USE PERMIT

DISCLAIMER
THIS SET OF DRAWINGS AND DOCUMENTS IS FOR MASTER USE PERMIT SUBMITTAL ONLY AND DOES NOT CONSTITUTE A COMPLETE SET OF DOCUMENTS FOR ANY OTHER PURPOSE.

△ SUBMITTAL / REVISION	DATE
MUP 3-19-2024	

JURISDICTIONAL APPROVAL STAMP

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
CERTIFICATE NO. 442

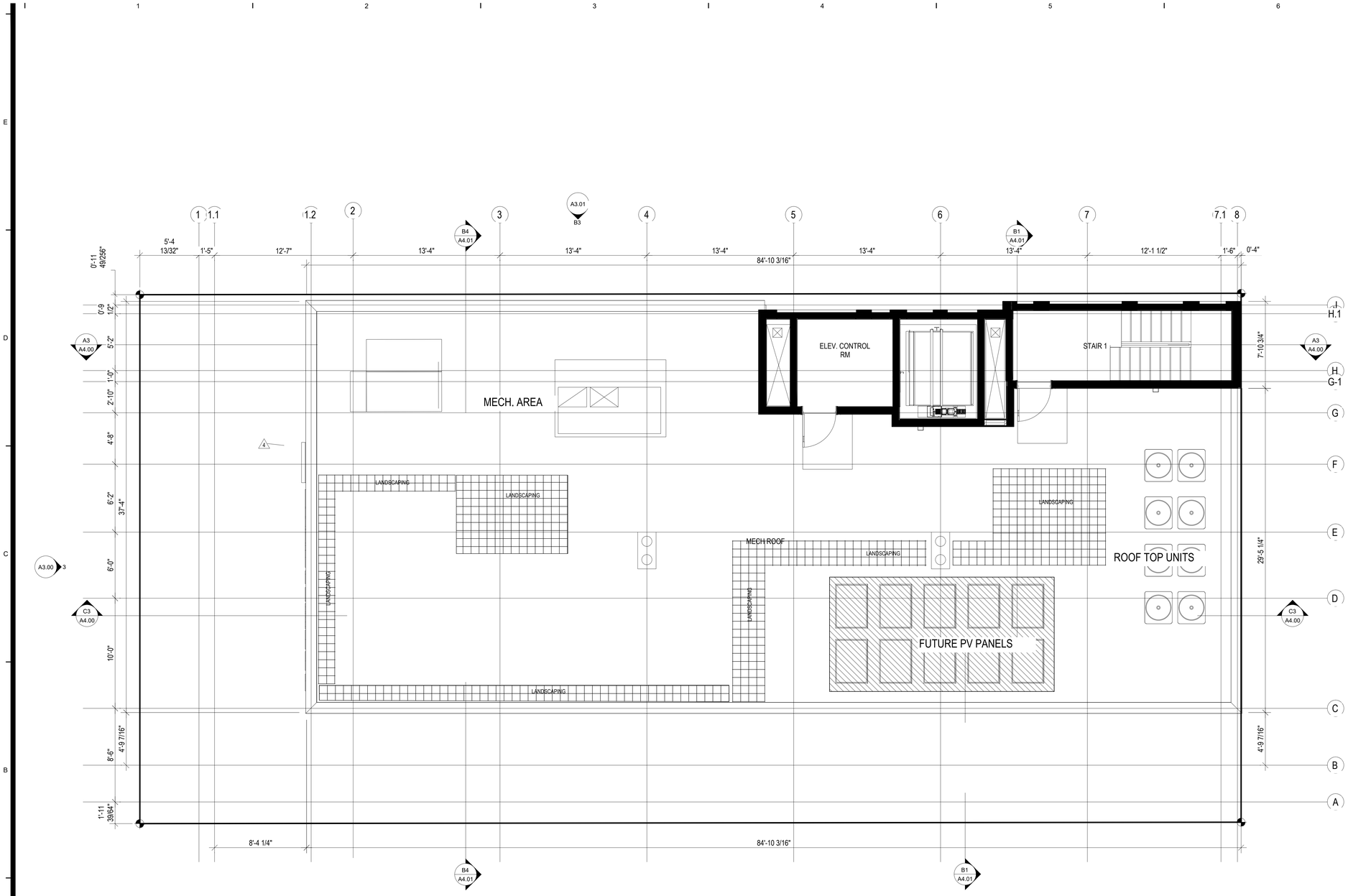
SHEET TITLE

TERRACE LEVEL PLANTING

SHEET NUMBER

LA 102

CARON PROJECT NO.



SCALE: 1/4"=1'-0"

0' 5' 10' 15'

N

1 ROOFTOP LANDSCAPE PLAN
1/4"=1'-0"

SEE SHEET LA 104 FOR PLANTING SCHEDULE

JGM
LANDSCAPE ARCHITECTS

12610 N.E. 104TH STREET
KIRKLAND WA 98033
PH: 425.454.5723

E-: craig@jgm-inc.com
www.jgm-inc.com

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

MASTER USE PERMIT

DISCLAIMER

THIS SET OF DRAWINGS AND DOCUMENTS IS FOR MASTER USE PERMIT SUBMITTAL ONLY AND DOES NOT CONSTITUTE A COMPLETE SET OF DOCUMENTS FOR ANY OTHER PURPOSE.

SUBMITTAL / REVISION	DATE
MUP	3-19-2024

JURISDICTIONAL APPROVAL STAMP

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
CERTIFICATE NO. 442

SHEET TITLE
ROOFTOP PLANTING

SHEET NUMBER
LA 103

CARON PROJECT NO.

PLANTING SCHEDULE FOR PROJECT SITE

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE AT PLANTING	QTY.	SPACING	NOTE
SMALL TREES					
SHRUBS					
	CORNUS STOLONIFERA 'KELSEYI'/ RED STEM DOGWOOD	12" HT., 2-GAL POT	9	3'-0" O.C.	
	RHODODENDRON OCCIDENTALE / WESTERN AZALEA	18" HT., 3-GAL POT	7	3'-0" O.C.	
	LIRIOPE MUSCARI / BIG BLUE LILY TURF	18" HT., 3-GAL POT	4	3'-0" O.C.	
	EUONYMUS JAPONICUS 'SILVER KING'/ SILVER KING EUONYMUS	15" HT., 3-GAL POT	8	2'-0" O.C.	
	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET'/ HUNTINGTON CARPET ROSEMARY	15" HT, 2-GAL POT	27	2'-0" O.C.	
	VIBURNUM DAVIDII/ DAVID VIBURNUM	24" HT., 5-GAL POT	12	1'-6" O.C.	
HEDGE					
	EUONYMUS JAPONICUS 'MICROPHYLLUS'/ EVERGREEN EUONYMOUS	15" HT., 3-GAL POT	7	1'-6" O.C.	
ORNAMENTAL GRASSES					
	CAREX ELATA 'BOWLES GOLDEN'/ BOWLES GOLDEN SEDGE	12" HT., 2-GAL POT	38	2'-0" O.C.	
	HAIR GRASS DESCHAMPSIA CESPITOSA 'NORTHERN LIGHTS'/ NORTHERN LIGHTS TUFTED	6" HT., 1-GAL POT	32	1'-6" O.C.	
PERENNIALS					
	IRIS SIBIRICA/SIBERIAN IRIS	12" HT., 2-GAL POT	13	2'-0" O.C.	
	CAMPANULA ISOPHYLLA / ITALIAN BELLFLOWER	8" HT., 1-GAL POT	26	2'-0" O.C.	
	IRIS TENAX / PACIFIC COAST IRIS	8" HT., 1-GAL POT	21	2'-0" O.C.	
	VIOLA ADUNCA/ WESTERN DOG VIOLET	6" HT., 1-GAL POT	16	1'-6" O.C.	
	HEUCHERA 'OBSIDIAN'/ OBSIDIAN CORAL BELS	6" HT., 1-GAL POT	13	1'-6"-O.C.	
GROUNDCOVERS					
	PRE-PLANTED SEDUM TRAYS; GREENGRID ROOFS 'TUFF STUFF' MIX	24" SQ. X 4" DEPTH SEDUM PLANTED TRAYS		340 S.F. TOTAL AREA	

PLANTING SCHEDULE FOR ROW

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE AT PLANTING	QTY.	SPACING
TREES				
	REMOVE EXISTING TREES & SHRUBS WITHIN PROPERTY LINE. REPLACE WITH NEW DESIGNED LANDSCAPE PLANTS. SAVE AND PROTECT EXISTING STREET TREES ALONG EAST JEFFERSON.			
PROPOSED NEW TREES				
	SORBUS X HYBRIDIA OAKLEAF ROYAL MT. ASH	20' HT., 4" DBH	2	
SHRUB				
	HYDRANGEA QUERCIFOLIA 'PEE WEE'/ DWARF OAK-LEAF HYDRANGEA	30" HT., 5-GAL POT	6	4'-0" O.C.
	GOLDEN NUGGETDWARF JAPANESE BARBERRY/ BERBERIS THUNBERGII 'MONLERS'	12" HT., 5-GAL POT	45	3'-0" O.C.
	AZALEA X 'HINO-CRIMSON'/ HINO-CRIMSON AZALEA	12" HT., 2-GAL POT	14	3'-0" O.C.
	CORNUS STOLONIFERA 'KELSEYI'/ RED STEM DOGWOOD	12" HT., 2-GAL POT	2	3'-0" O.C.
PERENNIALS				
	IRIS TENAX / PACIFIC COAST IRIS	8" HT., 1-GAL POT	41	2'-0" O.C.
	CAMPANULA ISOPHYLLA / ITALIAN BELLFLOWER	8" HT., 1-GAL POT	52	2'-0" O.C.
	GAZANIA LINEARIS 'COLORADO GOLD' / COLORADO GOLD TREASURE FLOWER	6" HT., 1-GAL POT	16	1'-6" O.C.
	HEUCHERA 'OBSIDIAN'/ OBSIDIAN CORAL BELS	6" HT., 1-GAL POT	42	1'-6"-O.C.
	ALLIUM SCHOENOPRASUM/ CHIVES	6" HT., 1-GAL POT	23	2'-0" O.C.
GROUNDCOVERS				
GC1	SEDUM ANGLICUM / STONECROP	4-INCH POT		1'-6" O.C.
GC2	MAHONIA REPENS / CREEPING MAHONIA	4-INCH POT		1'-6" O.C.

PLANTING SCHEDULE FOR BIO-RETENTION (SUMMARY)

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE AT PLANTING	QTY.	SPACING
GRASS & PERENIAL				
	IRIS SIBIRICA/SIBERIAN IRIS	12" HT., 2-GAL POT	63	2'-0" O.C.
	CAREX OBNUPTA/SLOUGH SEDGE	6" HT., 1-GAL POT	37	1'-6" O.C.
	JUNCUS TENUIS/SLENDER RUSH	6" HT., 1-GAL POT	54	1'-6" O.C.
	IRIS TENAX / PACIFIC COAST IRIS	8" HT., 1-GAL POT	6	2'-0" O.C.
	CAMPANULA ISOPHYLLA / ITALIAN BELLFLOWER	8" HT., 1-GAL POT	30	2'-0" O.C.
	VIOLA ADUNCA/ WESTERN DOG VIOLET	6" HT., 1-GAL POT	24	1'-6" O.C.
SHRUB				
	CORNUS STOLONIFERA 'KELSEYI'/ RED STEM DOGWOOD	12" HT., 2-GAL POT	17	3'-0" O.C.
	LIRIOPE MUSCARI / BIG BLUE LILY TURF	18" HT., 3-GAL POT	8	3'-0" O.C.

PLANTING NOTES

1. ALL NEW STREET TREE PLANTING AREAS SHALL BE INSTALLED AS PER STANDARDS DESCRIBED IN CITY OF SEATTLE STD. PLAN 100A INCLUDING CU STRUCTURAL SOILS AND ROOT BARRIER MATERIALS.
2. ALL NEW FREE-STANDING PLANTERS SHALL RECEIVE MINIMUM 24" DEPTH OF CEDAR GROVE WINTER MIX WASHED SAND / COMPOST SOIL AND 2" DEPTH OF FINE COMPOSTED MULCH.
3. ALL NEW BIO-RETENTION BASIN PLANTING AREAS SHALL RECEIVE SOIL MIX AND DEPTH AS SPECIFIED BY CIVIL ENGINEER.
4. ALL NEW PLANTING AREAS SHALL BE WATERED WITH PERMANENT AUTOMATIC IRRIGATION SYSTEM .
5. ALL NEW TREES TO BE PLANTED AT A MINIMUM DISTANCE OF 5' FROM ALL UNDERGROUND UTILITIES, 20' FROM STREET LIGHTS AND EXISTING TREES, 10 ' FROM POWER POLES.
6. SEE SHEET LA 104 FOR PLANTING AREA GREEN FACTOR CALCULATION.

JGM LANDSCAPE ARCHITECTS

12610 N.E. 104TH STREET
KIRKLAND WA 98033
PH: 425.454.5723

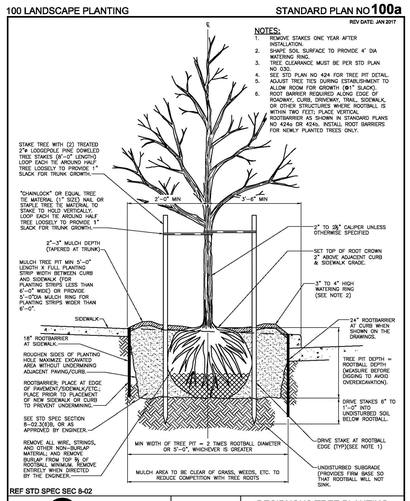
E-: craig@jgm-inc.com
www.jgm-inc.com

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

MASTER USE PERMIT

100 LANDSCAPE PLANTING — STANDARD PLAN NO 100a
REV DATE: JAN 2017

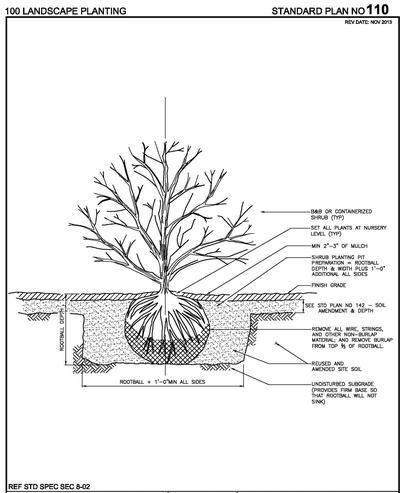


REF STD SPEC SEC 8-02

City of Seattle | NOT TO SCALE | DECIDUOUS TREE PLANTING IN PLANTING STRIP

2017 Edition City of Seattle Standard Plans for Municipal Construction

100 LANDSCAPE PLANTING — STANDARD PLAN NO 110
REV DATE: NOV 2013

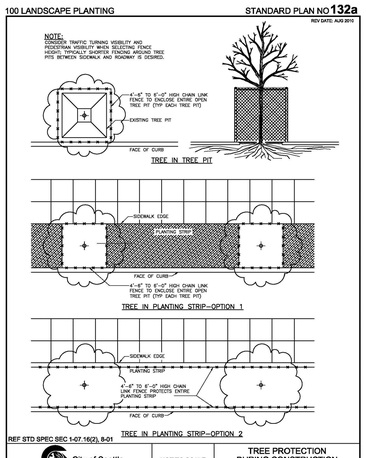


REF STD SPEC SEC 8-02

City of Seattle | NOT TO SCALE | SHRUB PLANTING

2017 Edition City of Seattle Standard Plans for Municipal Construction

100 LANDSCAPE PLANTING — STANDARD PLAN NO 132a
REV DATE: AUG 2015

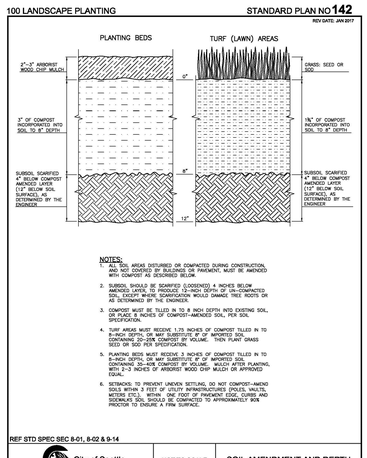


REF STD SPEC SEC 1-07.16(2), 8-01

City of Seattle | NOT TO SCALE | TREE PROTECTION DURING CONSTRUCTION

2017 Edition City of Seattle Standard Plans for Municipal Construction

100 LANDSCAPE PLANTING — STANDARD PLAN NO 142
REV DATE: JAN 2017



REF STD SPEC SEC 8-01, 8-02 & 9-14

City of Seattle | NOT TO SCALE | SOIL AMENDMENT AND DEPTH

2017 Edition City of Seattle Standard Plans for Municipal Construction

DISCLAIMER
THIS SET OF DRAWINGS AND DOCUMENTS IS FOR MASTER USE PERMIT SUBMITTAL ONLY AND DOES NOT CONSTITUTE A COMPLETE SET OF DOCUMENTS FOR ANY OTHER PURPOSE.

△ SUBMITTAL / REVISION	DATE
MUP 3-19-2024	

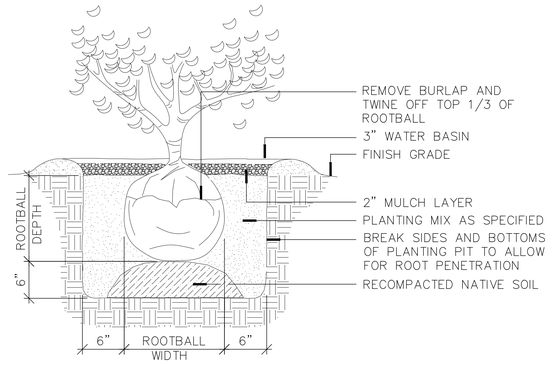
JURISDICTIONAL APPROVAL STAMP

SHEET TITLE
PLANT SCHEDULE & DETAILS

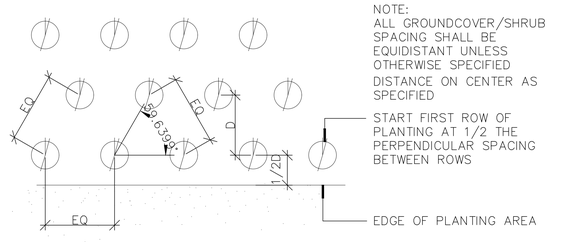
SHEET NUMBER
LA 104

CARON PROJECT NO.

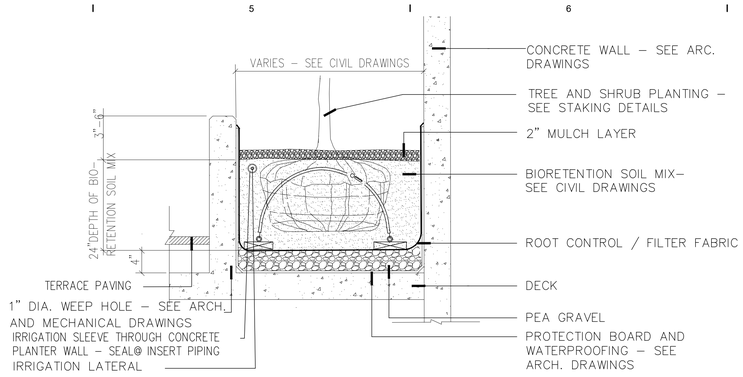
STATE OF WASHINGTON
REGISTERED LANDSCAPE ARCHITECT
CERTIFICATE NO. 442



A TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE — SHRUB-1



B TRIANGULAR PLANT SPACING
NOT TO SCALE — TRI-SPACE

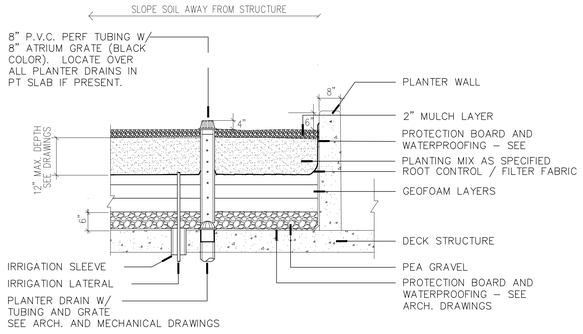


C TYPICAL PLANTER DRAINAGE/BACKFILL
NOT TO SCALE — PLANTER-DRAIN3

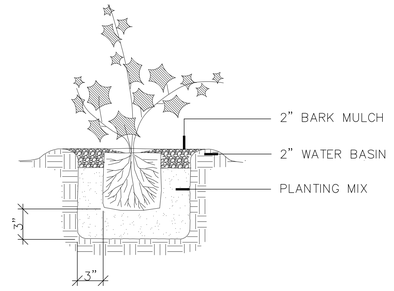
JGM
LANDSCAPE ARCHITECTS
12610 N.E. 104TH STREET
KIRKLAND WA 98033
PH: 425.454.5723
E: craig@jgm-inc.com
www.jgm-inc.com

CANDLEWOOD SUITES AT CHERRY HILL
505 16TH AVE
SEATTLE, WA 98122

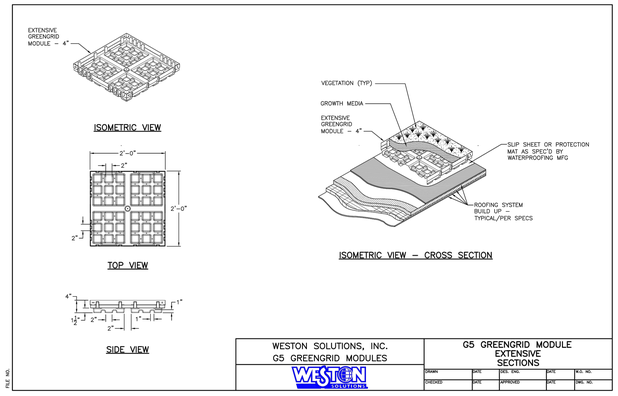
MASTER USE PERMIT



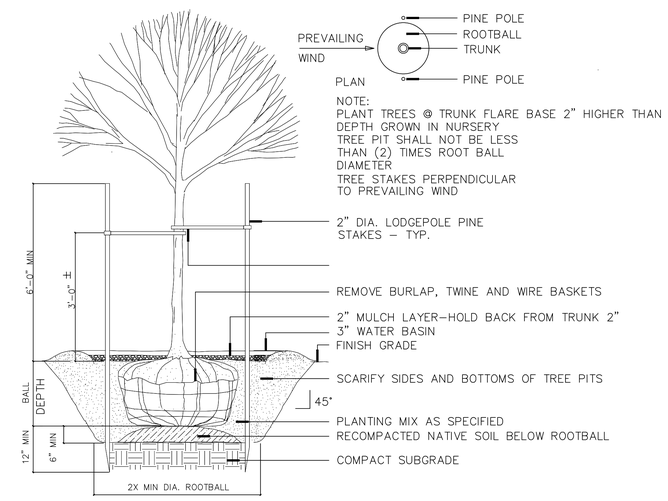
D TYPICAL DECK PLANTER
NOT TO SCALE — PT DECK PLANTING 2



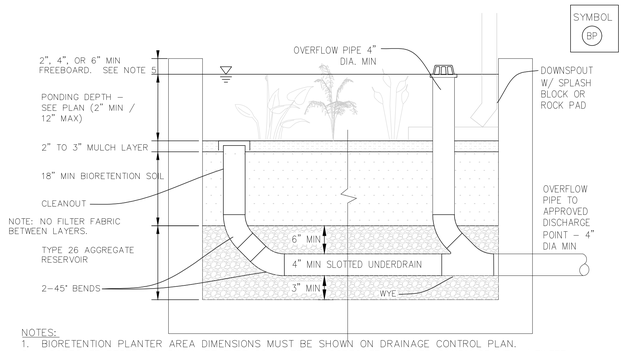
E GROUNDCOVER PLANTING
NOT TO SCALE — GRNDCVR1



F TYPICAL GREENGRID PLANTED SEDUM TRAY
NOT TO SCALE — PLANTER-DRAIN3

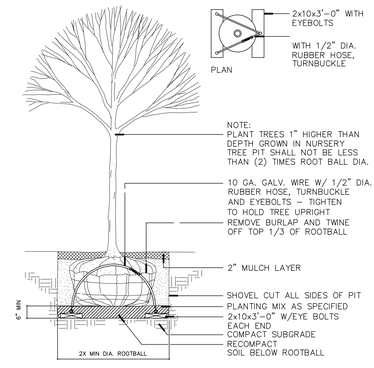


G TYPICAL DECIDUOUS TREE PLANTING
NOT TO SCALE — TREE-DECID1



NOTES:
1. BIORETENTION PLANTER AREA DIMENSIONS MUST BE SHOWN ON DRAINAGE CONTROL PLAN.
2. AGGREGATE RESERVOIR SHALL BE TYPE 26 MINERAL AGGREGATE (WASHED SANDY GRAVEL / FILTER MATERIAL).
3. PLANTER SHALL BE A MINIMUM INSIDE WIDTH OF 2 FEET.
4. SLOTTED DRAIN PIPE SHALL RUN THE LENGTH OF THE PLANTER.
5. MINIMUM FREEBOARD SHALL BE 2 INCHES FOR CONTRIBUTING DRAINAGE AREAS LESS THAN 3,000 SF, 4 INCHES FOR AREAS 3,000 SF TO 5,000 SF AND 6 INCHES FOR AREAS GREATER THAN 5,000 SF. FREEBOARD SHALL BE NOTED ON THE DRAINAGE CONTROL PLAN.
6. SEE THE SEATTLE STORMWATER MANUAL VOL. 3, SECTION 5.8.2, FOR ADDITIONAL REQUIREMENTS.

H BIORETENTION PLANTER (NON-INFILTRATING)
NOT TO SCALE



I TYPICAL TREE PLANTING IN RAISED PLANTER
NOT TO SCALE

DISCLAIMER
THIS SET OF DRAWINGS AND DOCUMENTS IS FOR MASTER USE PERMIT SUBMITTAL ONLY AND DOES NOT CONSTITUTE A COMPLETE SET OF DOCUMENTS FOR ANY OTHER PURPOSE.

△ SUBMITTAL / REVISION	DATE
MUP 3-19-2024	

JURISDICTIONAL APPROVAL STAMP

SHEET TITLE
PLANTING DETAILS

SHEET NUMBER
LA 105

CARON PROJECT NO.

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Craig A. Reiss
CERTIFICATE NO. 442

This table is intended to document and include ALL relevant Land code sections for the project .

PROJECT ADDRESS	1522 E JEFFERSON STREET, SEATTLE 98122
JURISDICTION	SEATTLE
ZONE	MIO-65-NR3
ZONING ANALYSIS DATED	1/22/2023
CODE CONTENT SOURCE	https://www.seattle.gov/documents/Departments/Neighborhoods/MajorInstitutions/SwedishCherryHill/Cherry%20HillCompiledMIMP_2016_07_08(0).pdf https://library.municode.com/wa/seattle/codes/municipal_code?nodeId=TIT23LAUSCO_SUBTITLE_IIILAUSRE_CH23.69MAINOVDI

APPLICABLE SECTION - ENTER CODE SECTION HERE			CODE REQUIREMENT - ENTER CODE DESCRIPTION HERE	COMPLIANCE
Scope of Provisions	23.69.008	A	All land located within the Major Institution Overlay District shall be subject to the regulations and requirements of the underlying zone unless specifically modified by this chapter or an adopted master plan.	COMPLIES
Standards applicable to specific areas	23.69.020	A	Major Institution uses shall be subject to the development standards for institutions of the underlying zone in which they are located, except for the dispersion requirements of the underlying zoning for institutions. Project located in Swedish Cherry Hill Campus MIMP overlay	COMPLIES
Permitted and prohibited uses	23.69.008	A	All uses that are functionally integrated with, or substantively related to, the central mission of a Major Institution or that primarily and directly serve the users of an institution shall be defined as Major Institution uses and shall be permitted in the Major Institution Overlay (MIO) District. Permitted Use: Hotel supporting patients and their families, guests of Swedish Campus Hospital.	COMPLIES
Floor area ratio	MIMP CHC	C (DPC) 2	FAR calculated campus-wide. Current FAR is 2.07 (CHCMIMP-2016-07-08). New approved FAR is 4.74. FAR exemptions include mech penthouses on rooftop, portions of structure below grade, 3.5% reduction of gross SF for above grade for mech/electical.	COMPLIES, See A0.01
Setback	MIMP CHC	B (DS) 3a	Section F-F along Jefferson for portion of structure: • 37 feet or less in height: 5 minimum • Above 37 feet in height up to 65': 15 minimum	COMPLIES. See A0.04 & A0.04a
		B (DS) 3a	Section K-K-3 along 16th Ave for portions of a structure: • 37 feet or less in height: 5 minimum • Above 37 feet in height up to 65': 10 minimum	COMPLIES. See A0.04 & A0.04a
Structure height	23.69.004		Maximum structure heights for structures containing Major Institution uses may be allowed up to the limits established pursuant to Section 23.69.004 through the adoption of a master plan for the Major Institution	COMPLIES, See A0.06
	MIMP CHC	B (DS) 3b	Per section B (Development Standards) 3b Table B-2 , SMC Cherry Hill Location A6 - maximum height allowed in MIO-65 is 65 feet.	COMPLIES, See A0.06
Height Limit Exemptions	23.47A.012	C4	Except as provided below, the following rooftop features may extend up to 15 feet above the applicable height limit if the combined total coverage of all features gaining additional height listed in this subsection 23.47A.012.C.4 does not exceed 30 percent of the roof area, or the combined total coverage does not exceed 35 percent of the roof area if the total includes stair or elevator penthouses or screened or enclosed mechanical equipment: a.Solar collectors that exceed heights allowed by subsection 23.47A.012.C.3;b.Mechanical equipment; f.Covered or enclosed common recreation areas;g.; and j.Stair and elevato...	COMPLIES, See A0.06
	23.47A.012	C2	Open railings, planters, parapets, and firewalls may extend up to 4 feet above the otherwise applicable height limit. Insulation material or soil for landscaping located above the structural roof surface may exceed the maximum height limit by up to 2 feet if enclosed by parapets or walls that comply with this subsection 23.47A.012.C.2. Rooftop decks and other similar features may exceed the maximum height limit by up to two feet, and open railings or parapets required by the Building Code around the perimeter of rooftop decks or other similar features may exceed the maximum height limit by the minimum necessary to meet Building Code requirements.	COMPLIES, See A0.06
	23.47A.012.C	3.b	Solar collectors: In zones with height limits of greater than 40 feet, solar collectors may extend up to 7 feet above the otherwise applicable height limit, with unlimited rooftop coverage.	COMPLIES
Parking	MIMP CHC	B (DS) 1	Parking will be located in adjacent, existing Cherry Hill Campus garage structures. Parking agreement will be established with garage operators.	On-site parking is not required for this project.
Maximum Lot Coverage	MIMP CHC	B (DS) 2	Per section 23.44.010 and Modified Delvelopment Standards of MIMP Cherry Hill - maximum lot coverega is 76.5%. The proposed maximum lot coverage development standard for the MIO is 76%. The basis for this calculation is the entire MIO and not for individual future project sites.	COMPLIES
Landscaping	MIMP CHC	B (DS) 3d	Priority will be to maintain existing landscape patterns in the street level landscape areas. Landscaping will be provided in structural setbacks and roof top gardens when practical. Street trees shall be provided in planning strips. Trees, shrubs, groundcover, grass and flowers would reinforce the open space concept and existing vegetation.	COMPLIES, See Landscape sheets
			The Seattle DCI Green Factor guidelines will be used in directing the quantity and quality of new landscaping and the Green Factor score sheets will be completed during the MUP process for individual planned projects.	COMPLIES, See Landscape sheets
			The proposed buildings at the corner of 16th Ave. & E. Jefferson will be set back from the corner to allow visibility. Any proposed landscaping at these locations will not obscure visibility around the corner. Landscaping will be proposed to benefit the neighborhood pedestrian experience and promote pedestrian security and safety.	COMPLIES, See Landscape sheets
			Lighting and Wayfinding: Enhanced pedestrian level lighting will be added throughout the campus and along the campus boundaries, especially at the intersections. Pedestrian lighting improvements between the campus and major pedestrian and bicycle facilities will also be considered.	COMPLIES, See Landscape sheets, see A1.10
Landscaping	23.44.022	I2	Landscaping that achieves a Green Factor score of 0.3 or greater, pursuant to Section 23.86.019, is required for any lot with:a.development containing more than four new dwelling units;b.development, either a new structure or an addition to an existing structure, containing more than 4,000 new square feet of non-residential uses;	COMPLIES, See Landscape sheets
Exterior Lighting	23.44.008 / 23.44.022	J	Exterior lighting shall be shielded and directed away from residentially zoned lots. The Director may require that the intensity of illumination be limited and that the location of the lighting be changed.	COMPLIES, A1.10
Amenity within Landscaping	MIMP CHC	B (DS) 3d	Building amenity is not required. MIO Community Amenities within Landscaping: With the purpose of adding community amenities to increase safety, provide increased aesthetic enjoyment, include education markers for the health and exercise, provide respite and contemplation areas, clarify the pedestrian pathways and bicycle routes through the campus. Through the enhancement, replacement, creation and renovations of: the perimeter pedestrian sidewalk and landscaping. Included aspects: widen sidewalks to SDOT standards, infill missing street trees, added pedestrian lighting, create landscaping that will remain low and meet the CPTED (Crime prevention through environmental design) guidelines, add pedestrian respite areas on the hill climb areas of E. Cherry and E. Jefferson Streets, add dog waste bag dispensers / waste receptacles.	COMPLIES, see Landscaping
Façade Modulation	MIMP CHC	B (DS) 4b	No unmodulated facades shall exceed 90'-0" in length along East Jefferson. Along 16th and 18th Avenues interior to the campus no unmodulated facade shall exceed 125'-0" in length. Modulation shall be achieved by stepping back or projecting forward sections of building facades.	COMPLIES, see A0.04 & A0.04a
Solid waste and recyclable materials storage and access	23.54.040	TABLE A	NON - RESIDENTIAL, GROSS FLOOR AREA :15,001—50,000 SF, REQUIRES 175 SF, 522SF PROVIDED	COMPLIES, see A0.08
Bicycle parking requirements	23.54.015	TABLE D - A.3 LODGING USE	LONG-TERM = 3 per 40 rentable rooms; SHORT-TERM = 1 per 20 rentable rooms	COMPLIES, (3) long term bike parking located on P1, see A2.00. (2) short term bike rack at level 1, next to entry vestibule
Yards	23.44.014	D	6. Certain features of a structure. Unless otherwise provided elsewhere in this Chapter 23.44, certain features of a principal or accessory structure, except for detached accessory dwelling units, may extend into required yards if they comply with the following: a.External architectural details with no living area, such as chimneys, eaves, cornices, and columns, may project no more than 18 inches into any required yard;	

DATE 3/20/2024 9:34:48 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4

SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
LAND USE ANALYSIS

SHEET NUMBER
A0.00

Zoning analysis Matrix

Zoning Code Index	Underlying Zoning (SMC section)	MIMP Modified Development Standard	Project Proposed	Compliance	Location of info.
23.44.008 Development Standards for uses permitted outright -SF	Uses Permitted-SF Within a MIO zone	Meet MIO permitted use-Hotel	25000 SF boutique hotel within a MIO district is functionally integrated and substantially related to MIMP standard, thus permitted and Compliant		See document issued by the City (uploaded together with comment responses): This info can be found on CP204 of the **permitted use hotel_031618**
23.44.008 (H)	Lighting to be shielded and direct away from residentially zoned lots. The director may require that the intensity of illumination be limited, and that the location of the lighting be changed.		See answers to comment #13: provided shielded lighting design.		SAC meeting document dated March 2019 (page 21, 22, &24)
23.44.010 (D) Lot Requirements -SF	Maximum lot coverage of 35% of lot area	Being modified to Max. lot coverage of 76.5%	See answers to comment #5: proposed lot coverage is 71.3%, less than 76.5%, thus compliant with MIMP requirement.		This info can be found on CP203 of the Correction Response Plan set – Land Use
23.44.012 (A) Height Limits-SF	Maximum height Established 1, The maximum permitted height for any structure not located in a required yard is 30 feet	Modified by MIMP: Refer to MIMP development standard attachment A: Rezone map V2 in Appendix 1	According to Development program: 3b. Height limits Table B-2: Approved MIO Heights: The project site is indicated as location A6: underlying zoning heights: 30'-0"; Approved MIO heights: 65'-0". The project site MIO height limit is 65'-0". Current project design proposed 65'-0" height limit. Thus compliant with MIMP requirement.		See Sheet #A-501-A-504 of the Correction Response Plan set – Land Use
23.44.014 Yards -SF	Yards are required for every lot in a single-family zone. Front Yards – Average of front yards of SF structures on either side or 20 feet, whichever is less Rear Yard – 25 feet Side Yard – 5 feet	Modified by MIMP: Refer to approved setbacks in Section 3a setback Standards	Project is designed according to the requirement described in Section F-F (Setback F-F) and K-K3 (Setback K-K3), more details can be found in answers to comment #8. Thus, complies with MIMP requirement.		Refer to Elevation sheets A-501-A-504 and also CP202 in Correction Response Plan set – Land Use.
23.44.016 Parking and Garage - SF	Parking will be located in garage structures and within existing institutional buildings. See Figure C-5 Existing and Planned Future Parking and Access:	Modified by MIMP: does not apply to this project	See answers to Comment 17: Condition does not apply, no parking garages provided in the proposed project.		See basement plan A-110 in Correction Response Plan set – Land Use
23.44.022 Institutions	B Major Institutions: Existing major institutions and major institution uses within an existing Major Institution overlay district shall be permitted in accordance with the provisions of Chapter 23.69, Major Institution Overlay Districts, and the provisions of this section.		General provisions: 1.New or expanding institutions in single-family zones shall meet the development standards for uses permitted outright in Sections 23.44.008 through 23.44 .020 unless modified elsewhere in this subsection 23.44.022.D or in a Major Institution master plan.		See document issued by the City (uploaded together with comment responses): This info can be found on CP204 of the **permitted use hotel_031618**
23.54.015 Required Parking and Maximum parking limits	Table D for 23.54.015 parking for bicycles; A: Commercial Use, Long term bike parking, A.3. Lodging uses: 3 per 40 rentable rooms, Short term: 1 per 20 rentable rooms plus 1 per 4,000 square feet of conference and meeting rooms		Total 42 rooms that requires 4 long term bike parking: and 4 for short term bicycle parking stalls		See basement plan A-110 and L1 plan A-111. in Correction Response Plan set – Land Use
23.54.016 Major Institutions – Parking and transportation	B. Parking Quantity Required. 1, In urban centers and the Station Area Overlay District, no parking is required for Major Institution uses, except for hospitals.		Due According to this code requirement, no parking is required for this facility, therefore we eliminated the underground parking and make it a temporary loading zone.		See basement plan A-110 in Correction Response Plan set – Land Use
23.54.035 Loading berth requirements and space standards	A, Quantity of Loading Spaces. 1. The minimum number of off-street loading berths required for specific uses shall be set forth in Table A.		According to Table A. Type of use: low demand, sf of use 40,000-60,000, required loading berth is 1. Currently, the total building area is under 40000 sf, therefore, no loading berth is required. However, for the operational convenience, we provided one flexible loading zone in B1.		See basement plan A-110 in Correction Response Plan set – Land Use
23.54.040 Solid waste and recyclable materials storage and access	A, 4. Non-residential development shall meet the requirement in Table A for 23.54.040.		According to Table A. 42 rooms are between 26-50 dwelling units, therefore min. area for shared storage space for Solid waste storage is 375 sf. Proposed area in B1 level 418sf.		See basement plan A-110 also CP 202 in Correction Response Plan set – Land Use

SEE A0.04A FOR THE EXISITNG INFO.

SEE A0.00a FOR THE REVISION

SEE A0.06 FOR THE REVISION

SEE A0.01, A0.04 & A0.04a FOR THE REVISION

ON-SITE PARKING IS NOT REQUIRED FOR THIS PROJECT. SEE A0.00, FOR THE REVISION

SEE A0.04A FOR THE EXISITNG INFO.

ON-SITE PARKING IS NOT REQUIRED FOR THIS PROJECT. SEE A0.00, FOR THE BIKE PARKING REVISION

SEE A2.00 FOR THE PLAN REVISION

NO BERTH PROVIDED. SEE A2.00 FOR THE PLAN REVISION

SEE A0.08 & A2.00 FOR THE PLAN REVISION

Revision 1

REVISION MADE PER
SDCI002_CORRECTION NOTICE 1-2
RECEIVED ON AUGUST 3RD, 2020

Seattle Department of Construction & Inspections

SWEDISH MEDICAL CENTER MASTER PLAN
PERMITTED USE, HOTEL

Project Number: 3025500
Applicant: Xiaoli Stoyanov, *Ellumus Architecture, LLC*
Address of Proposal: 1522 East Jefferson Street
Subject: Major Institution Master Plan Permitted Use: Swedish Medical Center
Date: March 16, 2018

PURPOSE

Master Use Permit 3025500 proposes a 25,000-square foot boutique hotel to serve Swedish Medical Center, Cherry Hill Campus patients and patient families. Uses that are functionally integrated with, or substantively related to, the central mission of this institution shall be permitted within the boundaries of the master plan. The purpose of this memorandum is to respond the applicant's letter dated November 16, 2016, requesting determination that the proposed boutique hotel at 1522 E. Jefferson St. is a permitted use within the Swedish Cherry Hill Master Plan (July 2016).

ANALYSIS

Proposal and Project Site

The applicant proposes a 25,000-square foot boutique hotel at 1522 E. Jefferson St. The site is located at the southwest corner of E. Jefferson St. and 16th Ave, along the southern boundary of the MIO District. The project site is approximately 4,800-square feet is zoned Major Institution Overlay- 65-Foot Height Limit – Single Family 5,000 (MIO-65-SF-5000).

Master Plan

According to the Swedish Medical Center Master Plan (July 2016): in 2012, the existing supply of hotel use within the MIO was 12,500-square feet, and the projected need is 80,000-square feet (p. 51). More specifically, the Master Plan notes, that there are currently 29 beds available at the "Inn at Cherry Hill," and the projected hotel bed need by 2023 is 51 beds and 72 beds by 2040 (p. 140).

In discussing anticipated location for the additional hotel beds, the Master Plan states, "The west MIO block between 15th Ave and 16th Ave offers future development for the stated medical center needs (hospital, clinical, research, education, hotel, and long term care)" (page 58).

Major Institution Overlay District, Permitted Uses

Seattle Municipal Code (SMC) 23.69.008 identifies those uses that are permitted within a MIO District. The applicant's letter (November 16, 2016) outlines their response to these criteria. In summary, the applicant is currently working with Swedish to reach an agreement for their management plan, the hote will primarily service Swedish patients and patient families, the site location is consistent with the

3025500
Permitted Use

location anticipated by the master plan and is within 300-feet of the emergency services entrance and the main entry, an onsite nurse is anticipated, and the hotel will be owned and operated by the applicant.

CONCLUSION

The Seattle Department of Construction and Inspections has reviewed the applicant's request for a hote at 1522 E Jefferson, and has determined that the hotel is a permitted use within the Swedish Medical Center MIO as it was considered by the Master Plan (July 2016) and meets the criteria of SMC 23.69.008.B.

Revision 1

REVISION MADE PER
SDCI002_CORRECTION NOTICE #1- Q. 29
RECEIVED ON JULY 14TH, 2020

ELLUMUS

REQUEST FOR MIMP COMPLIANCE

To: Ms. Carly Guillory,
Land Use Planner
SDCI
Re: 1522 East Jefferson Street Project (3025500)

Dear Carly,

We are writing on behalf of our client "Perfect Wealth Investments" to request your approval for the MIMP compliance of our proposed project at 1522 East Jefferson.

According to Code:

23.69.008 - Permitted uses.

A. All uses that are functionally integrated with, or substantively related to, the central mission of a Major Institution or that primarily and directly serve the users of an institution shall be defined as Major Institution uses and shall be permitted in the Major Institution Overlay (MIO) District. Major Institution uses shall be permitted either outright or as conditional uses according to the provisions of Section 23.69.012. Permitted Major Institution uses shall not be limited to those uses which are owned or operated by the Major Institution.

B. The following characteristics shall be among those used by the Director to determine whether a use is functionally integrated with, or substantively related to, the central mission of the Major Institution. No one (1) of these characteristics shall be determinative:

1. Functional contractual association;

2. Programmatic integration;

3. Direct physical circulation/access connections;

4. Shared facilities or staff;

5. Degree of interdependence;

6. Similar or common functions, services, or products.

Our Statements:
A, Based on our understanding of the code, the proposed project use as a boutique hotel is functionally integrated with the central mission (to provide Quality Care to their patients and their families) of a Major Institution (Swedish Hospital at Cherry Hill

3600 136TH STREET SE, SUITE #230, BELLEVUE, WASHINGTON 98006

Memorandum
11/16/2016 rev
Page 2

Campus), and it is programmed so it primarily serves the users (patients and their families) of a Major institution (Swedish), it shall be permitted in the Major Institution Overlay (MIO) District.
B, Our current understanding is that the proposed hotel use shall be permitted outright as a Major Institutional Use instead of a conditional use. Therefore no changes or amendments to the MIMP is necessary.
C, According to code, even though the proposed property is not owned or operated by the Major Institution, it is still governed by the MIMP.

Here are our reasons to support the above statements:

1**, Functional contractual association:**
We are in the process of reaching an agreement with Swedish Organization for a mutually beneficial management plan to ensure the patients and families having privileges /advantages staying at the proposed property.

2, Programmatic Integration:
As stated in the MIMP, the inventory of space needs indicates that as future demand for inpatient hospital bed count grows, the need for hotel rooms will, concomitantly, grow. As the data suggests, a projected increase of 27 hotel rooms to 56 hotel rooms is needed by year 2023. By providing a 42-room boutique Hotel project on the 1522 E. Jefferson Site that primarily serves the patient and their families are in alignment with this needs.

3, **Direct physical circulation / access connections:**
The property's proximity (within walking distance) to the central campus makes it an ideal location for a hotel use to serve the patients and their families while greatly reduce the traffic impact to the community, thus contribute to the reduction of SOV.

4**, Shared facilities or staff:**
The proposed facility provides majority of the units to be accessible units with special features to meet the special needs for Swedish patients and families. It is possible and beneficial for some of the hotel staff to bear some degree of medical knowledge, such as having the onsite nurse (shared staff with Swedish hospital) to handle the emergency situation.

Just as this boutique hotel can be an asset to the Swedish Institute and the surrounding neighborhood, the hotel's accessary function - the 'Corner Café' on the ground floor can be an additional amenity (shared facility) to the Major Institution. This nice accessary not only primarily serve the Swedish staff, their patients and families, but also add warmth and welcome feel to the local community.

Memorandum
11/16/2016 rev
Page 3

5, **Degree of independence:**
"Perfect Wealth Investments" is committed to provide functional amenities to support Swedish mission to accommodate the needs and desire from the patients and their families. While seeking mutual support and benefit, it will maintain its financial independence instead of adding burden to the institution.

6, **Similar or common functions, services or products:**
With majority of the hotel units to be accessible, it expends the capacity of Swedish outpatient services, reduces the anxiety of their patients and families.

Additionally,
7, **The proposed property will strive to meet and exceed the Sustainability Green Objectives of Swedish Cherry Hill Campus**
The design of the proposed building and the landscape will embrace sustainable-green principles to the fullest extent possible.

8, **The proposed property will maintain high Design and Construction Quality**
Under the client request of "Perfect Wealth Investments", the Ellumus design team will design high quality project that would add value to the community. The property owner is also committed to maintain high construction quality that will add positive impact to the inventory of buildings within the Swedish MIO.

We are willing to participate in Community Outreach with an openness to listen and implement positive suggestions to the greatest extent. We will provide a sensitive, sustainable design that follows the MIMP principles and make the project a pleasant addition to this neighborhood.

Overall, "Perfect Wealth Investments" and Ellumus design team are prepared to work closely with SDCI officials and Swedish Institution to resolve any possible issues arise in the process.

We request your approval for our proposed hotel use to be a permitted use under MIMP so we could further pursue the MUP application process.

Your kind review to this letter with a written response is greatly appreciated.

Sincerely,

Xiaoli Stoyanov, Principal at Ellumus

NOTE:

MUP SUBMITTAL

KEY PLAN:

ARCHITECT:

ELLUMUS
WWW.ELLUMUS.COM
3600 136TH PLACE SE
SUITE 230
BELLEVUE, WA 98006
PH (425) 603-0088
FAX (425) 603-0068
INFO@ELLUMUS.COM

ISSUED/REVISED	DATE
REVISION 1	DATE 1

PROJECT NAME:

SANCTUARY AT CHERRY HILL
505 16TH AVE
SEATTLE, WA
98122
PARCEL #
794260-0795

PROJECT NUMBER: #216001.00

PRINCIPLE IN CHARGE	XS
PROJ. MANAGER	KM
PROJ. ARCHITECT	TW
PROJ. DESIGNER	MJ
LANDSCAPE DESIGNER	TH
CODE REVIWER	KM
BIM MANAGER	YF
DATE	09/17/2021
REV NO.	
REV DATE	

DRAWING TITLE

ZONING ANALYSIS AND DIAGRAM

CP204

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

NO.	DATE	ISSUES & REVISIONS
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4

SCALE AS SHOWN

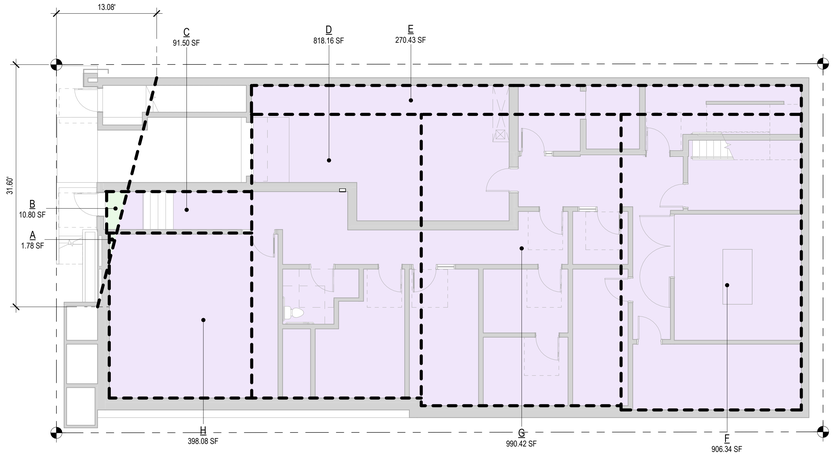
PROJECT NUMBER 22030

DESCRIPTION
DESIGN REVIEW RESPONSE (PRIOR ARCHITECT)

SHEET NUMBER

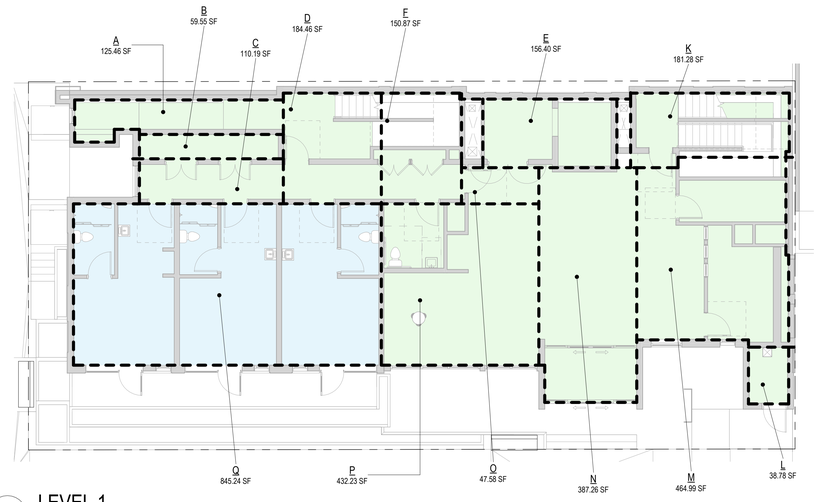
A0.00a

DATE 3/20/2024 9:35:05 PM



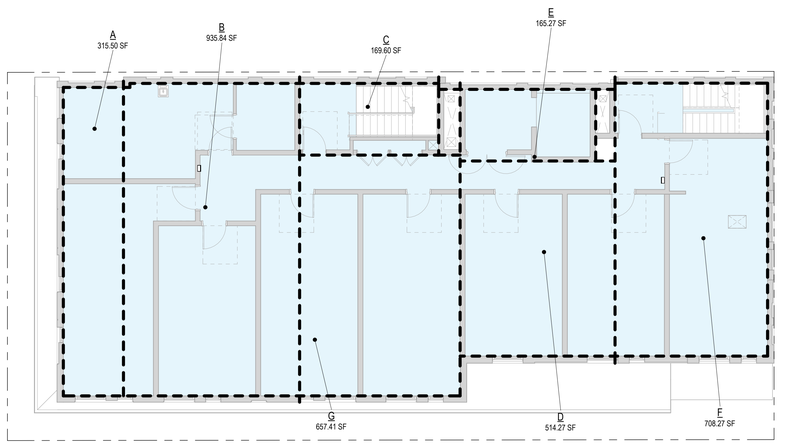
GFA - LEVEL P1	
AREA	GFA
USE: COMMERCIAL	
A	1.78 SF
B	10.80 SF
USE: COMMERCIAL UNDERGROUND	
C	91.50 SF
D	818.16 SF
E	270.43 SF
F	906.34 SF
G	990.42 SF
H	398.08 SF
TOTAL AREA:	3,487.51 SF

1 GFA - LEVEL P1
SCALE: 1/8" = 1'-0"



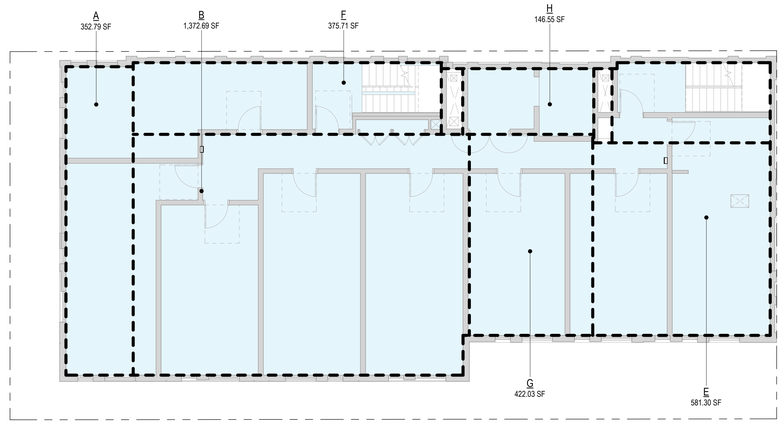
GFA - LEVEL 1	
AREA	GFA
USE: COMMERCIAL	
A	125.46 SF
B	59.55 SF
C	110.19 SF
D	184.46 SF
E	156.40 SF
F	150.87 SF
K	181.28 SF
L	38.78 SF
M	464.99 SF
N	387.26 SF
O	47.58 SF
P	432.23 SF
USE: RESIDENTIAL	
Q	845.24 SF
TOTAL AREA:	3,184.30 SF

2 LEVEL 1
SCALE: 1/8" = 1'-0"



GFA - LEVEL 2	
AREA	GFA
USE: RESIDENTIAL	
A	315.50 SF
B	935.84 SF
C	169.60 SF
D	514.27 SF
E	165.27 SF
F	708.27 SF
G	657.41 SF
TOTAL AREA:	3,466.17 SF

3 LEVEL 2
SCALE: 1/8" = 1'-0"



GFA - LEVEL 3	
AREA	GFA
USE: RESIDENTIAL	
A	352.79 SF
B	1,372.69 SF
C	215.19 SF
E	581.30 SF
F	375.71 SF
G	422.03 SF
H	146.55 SF
TOTAL AREA:	3,466.25 SF

4 LEVEL 3
SCALE: 1/8" = 1'-0"

BUILDING GROSS FLOOR AREA				
LEVEL	USE	AREA	GFA	
			FAR AREA	CHARGEABLE AREA
Not Placed	ROOF COVERAGE: MECHANICAL	0.00 SF	No	0.00 SF
Not Placed	ROOF COVERAGE: MECHANICAL - SCREENED	0.00 SF	No	0.00 SF
Not Placed	USE: COMMERCIAL	0.00 SF	Yes	0.00 SF
Not Placed	USE: OUTDOOR AMENITY	0.00 SF	No	0.00 SF
LEVEL P1	USE: COMMERCIAL	12.58 SF	Yes	12.58 SF
LEVEL P1	USE: COMMERCIAL UNDERGROUND	3,474.93 SF	No	0.00 SF
LEVEL 1	USE: COMMERCIAL	2,339.06 SF	Yes	2,339.06 SF
LEVEL 1	USE: RESIDENTIAL	845.24 SF	Yes	845.24 SF
LEVEL 2	USE: RESIDENTIAL	3,466.17 SF	Yes	3,466.17 SF
LEVEL 3	USE: RESIDENTIAL	3,466.25 SF	Yes	3,466.25 SF
LEVEL 4	USE: RESIDENTIAL	2,898.73 SF	Yes	2,898.73 SF
LEVEL 5	USE: RESIDENTIAL	2,898.72 SF	Yes	2,898.72 SF
LEVEL 6	USE: RESIDENTIAL	2,898.72 SF	Yes	2,898.72 SF
ROOF	USE: RESIDENTIAL	289.65 SF	Yes	289.65 SF
MAX. HEIGHT	USE: COMMERCIAL	0.00 SF	Yes	0.00 SF
TOTAL AREA:		22,590.05 SF		19,115.12 SF

Development Program Table C-2. Gross Square Footage

	2012 EXISTING SF	2040 Need	Proposal
Hospital	**541,300**	**1,350,000**	**1,350,000**
Clinical / Research	**427,000**	**1,250,000**	**1,070,000**
Education	**73,000**	**150,000**	**150,000**
Hotel	**12,500**	**80,000**	**40,000**
Long Term Care	**43,000**	**220,000**	**93,000**
Other Support	**50,000**	**50,000**	**50,000**
TOTAL SF	**1,146,800**	**3,100,000**	**2,753,000**

TOTAL ADDED HOTEL (R1 RESIDENTIAL) GROSS AREA: 22,590.05 SF < 40,000 SF

TOTAL AREA:
19,115.12 SF X 96.5% (MINUS 3.5% MECHANICAL AREA) = 18,748.54 SF

FAR CALCULATIONS (PER MIMP CAMPUS-WIDE, P57)

Development Program Table C-3: Gross Floor Area and Floor Area Ratio (FAR)

MIMP	Land Basis	Total Gross Square Feet	Floor Area Ratio (FAR)
Existing MIO	580, 569 SF No Change	1.2M SF	2.07
Approved	580,569 SF 13.33 AC	2,753,000 SF	4.74

WITHIN MIO-65
CAMPUS AREA: 580,569 SF
APPROVED MSF: 2,753,000 SF
APPROVED MAX FAR: = 4.74

CURRENT FAR (CAMPUS): = 4.21
CURRENT MSF: 2,444,195 SF

PROJECT GROSS FLOOR AREA (FOR FAR CALCULATION): 18,447.69 SF
RUNNING MSF 2,444,195 SF + 18,447.69 SF = 2,462,642.69 SF

PROPOSED TOTAL FAR 2,462,642.69 SF / 580,569 SF = 4.24

GFA PLAN LEGEND

- VOID OR EXTERIOR
- RESIDENTIAL USE
- RESIDENTIAL USE, BELOW GROUND
- COMMERCIAL USE (OFFICE)
- MECHANICAL / STORAGE USE, PRORATED
- ABOVE GRADE PARKING, RESIDENTIAL USE
- BELOW GRADE PARKING, RESIDENTIAL USE
- SHARED USE

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU
MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4

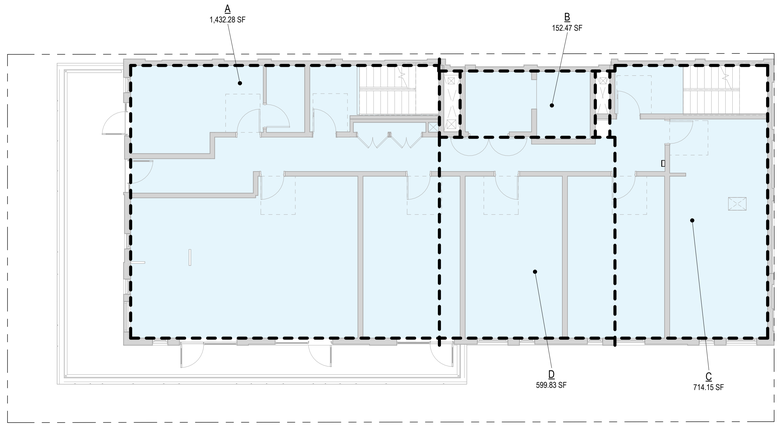
SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
GFA ANALYSIS

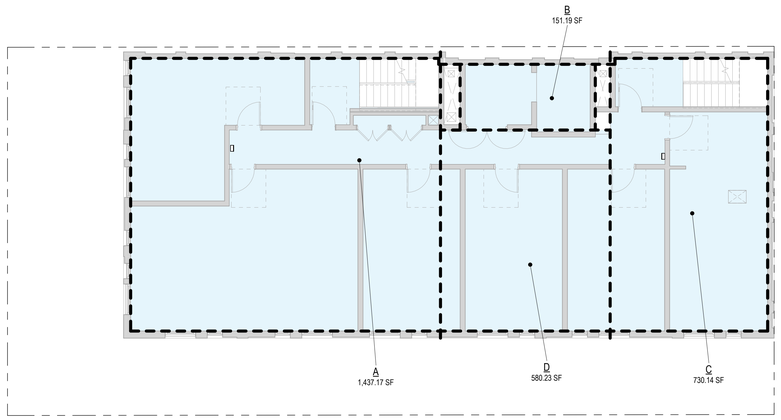
SHEET NUMBER
A0.01

DATE 3/20/2024 9:35:11 PM



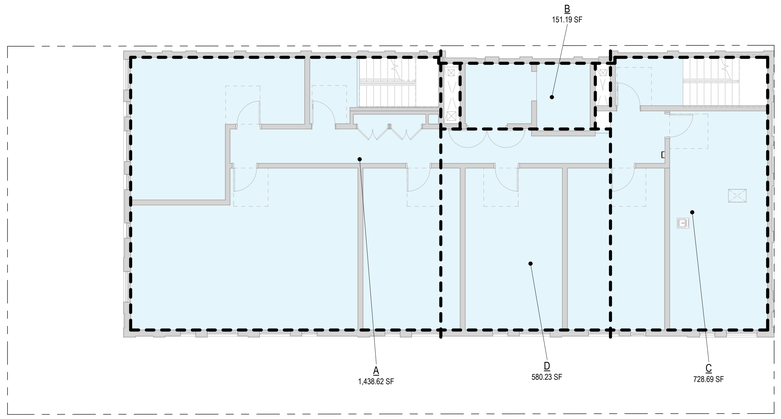
GFA - LEVEL 4	
AREA	GFA
USE: RESIDENTIAL	
A	1,432.28 SF
B	152.47 SF
C	714.15 SF
D	599.83 SF
TOTAL AREA:	2,898.73 SF

1 LEVEL 4
SCALE: 1/8" = 1'-0"



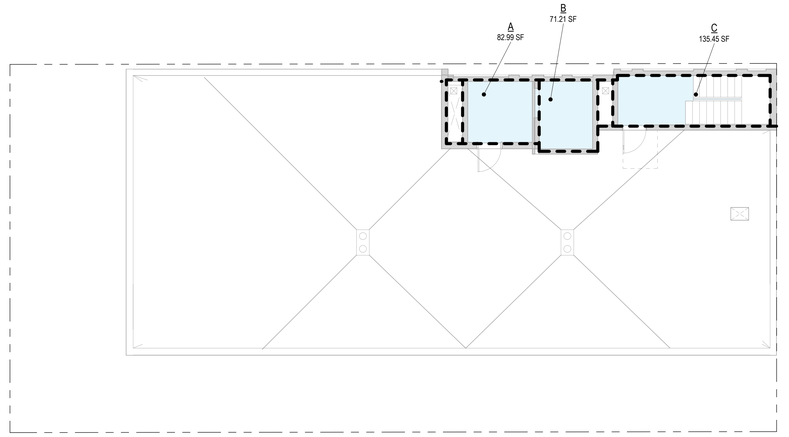
GFA - LEVEL 5	
AREA	GFA
USE: RESIDENTIAL	
A	1,437.17 SF
B	151.19 SF
C	730.14 SF
D	580.23 SF
TOTAL AREA:	2,898.72 SF

2 LEVEL 5
SCALE: 1/8" = 1'-0"



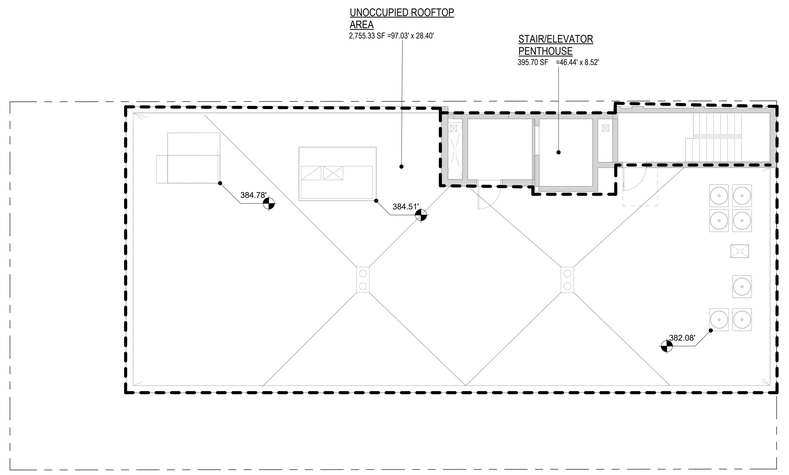
GFA - LEVEL 6	
AREA	GFA
USE: RESIDENTIAL	
A	1,438.62 SF
B	151.19 SF
C	728.69 SF
D	580.23 SF
TOTAL AREA:	2,898.72 SF

3 LEVEL 6
SCALE: 1/8" = 1'-0"



GFA - ROOF DESK	
AREA	GFA
USE: RESIDENTIAL	
A	82.99 SF
B	71.21 SF
C	135.45 SF
	289.65 SF
TOTAL AREA:	289.65 SF

4 ROOF
SCALE: 1/8" = 1'-0"



5 ROOFTOP COVERAGE
SCALE: 1/8" = 1'-0"

ROOF COVERAGE (OVERALL)		
NAME	AREA USE	AREA
UNOCCUPIED ROOFTOP AREA		2,755.33 SF
STAIR/ELEVATOR PENTHOUSE	Utility / BOH	395.70 SF
TOTAL ROOF AREA:		3,151.03 SF

ROOFTOP COVERAGE CALCULATIONS PER REQUIREMENTS AS OUTLINED IN 23.44.012.C5
Combined total coverage area does not exceed 20% of total roof area that includes stair and elevator penthouse and mechanical equipment

TOTAL PROPOSED ROOF AREA: 3,151.03 SF

TOTAL PERCENTAGE ALLOWED (INCLUDING ROOFTOP UNITS, STAIR & ELEV. PENTHOUSES): 3,151.03 SF X 20% = 630.20 SF

TOTAL PROPOSED (INCLUDING ROOFTOP SCREENED UNITS, STAIR & ELEV. PENTHOUSE) 395.70 SF OR 12.6% < 20% ALLOWABLE - COMPLIES

GFA PLAN LEGEND

- VOID OR EXTERIOR
- RESIDENTIAL USE
- RESIDENTIAL USE, BELOW GROUND
- COMMERCIAL USE (OFFICE)
- MECHANICAL / STORAGE USE, PRORATED
- ABOVE GRADE PARKING, RESIDENTIAL USE
- BELOW GRADE PARKING, RESIDENTIAL USE
- SHARED USE

DATE 3/20/2024 9:35:12 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU
MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4

SCALE AS SHOWN

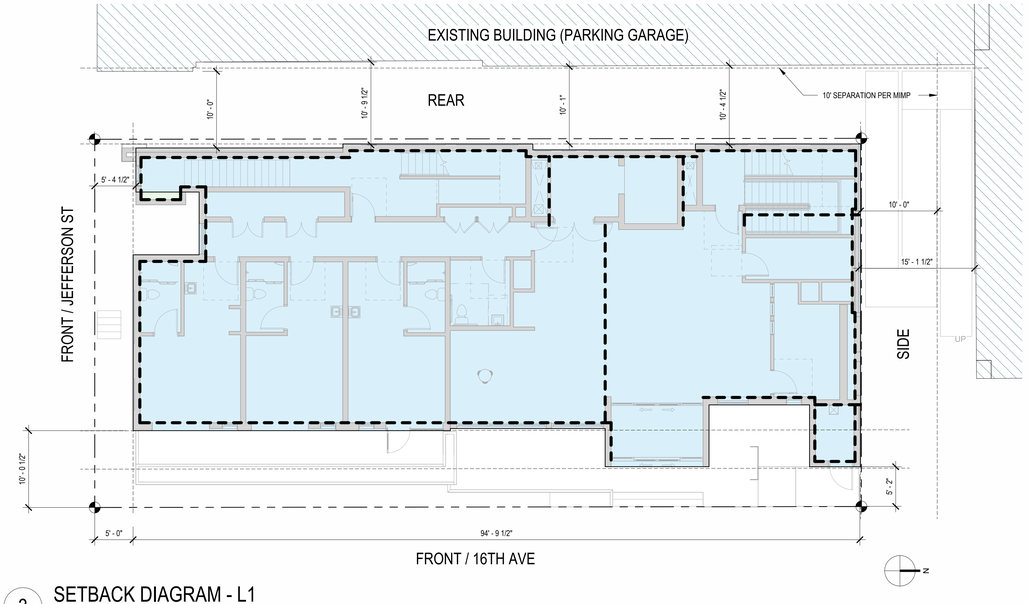
PROJECT NUMBER 22030

DESCRIPTION
GFA ANALYSIS

SHEET NUMBER
A0.02

1 ELEVATION - EAST

SCALE: 1/8" = 1'-0"

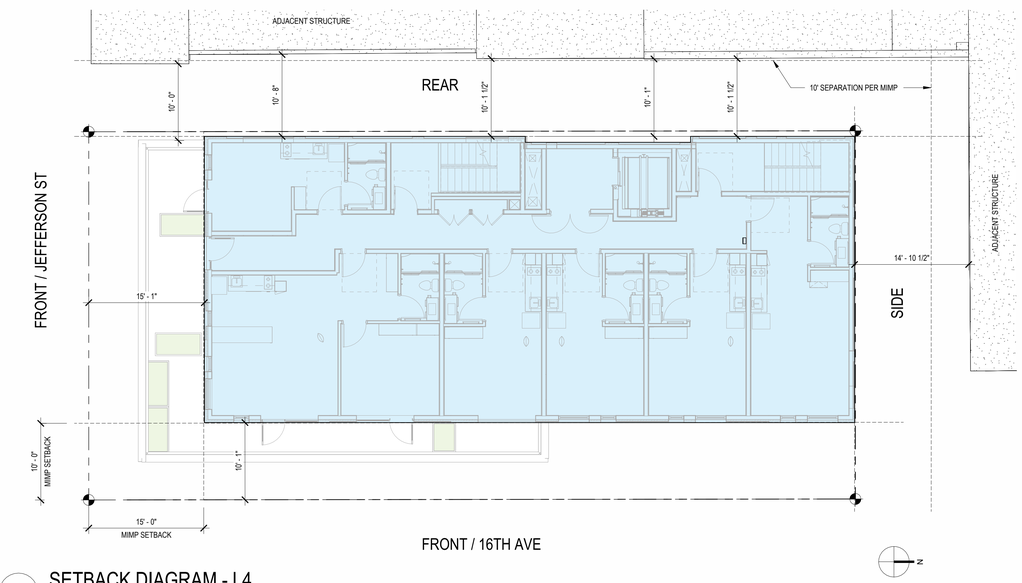


3 SETBACK DIAGRAM - L1

SCALE: 1/8" = 1'-0"

2 ELEVATION - SOUTH

SCALE: 1/8" = 1'-0"



4 SETBACK DIAGRAM - L4

SCALE: 1/8" = 1'-0"

DATE 3/20/2024 9:35:23 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
1	2/17/2023	MUP Revision#2
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4
4	10/20/2023	MUP Revision#5

SCALE AS SHOWN

PROJECT NUMBER 22030

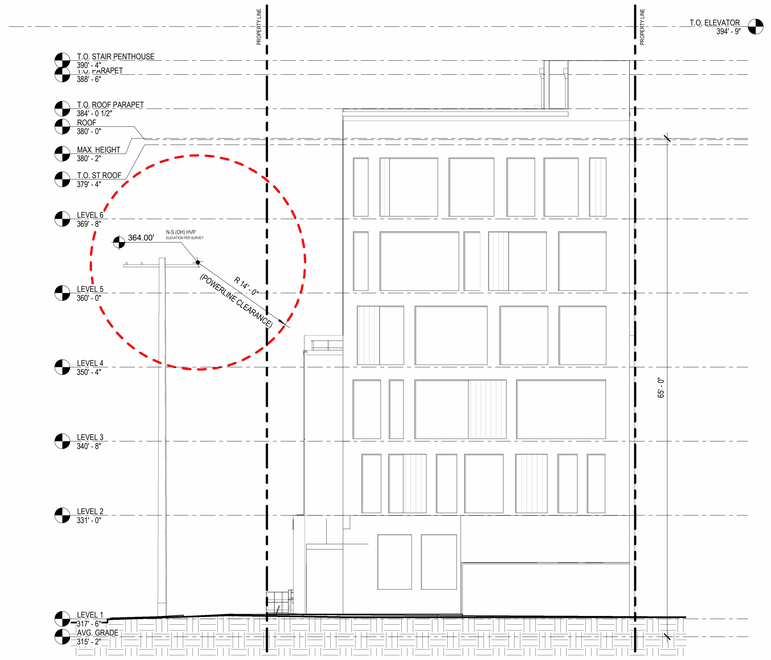
DESCRIPTION
LAND USE ANALYSIS - SETBACK DIAGRAMS

SHEET NUMBER

A0.04

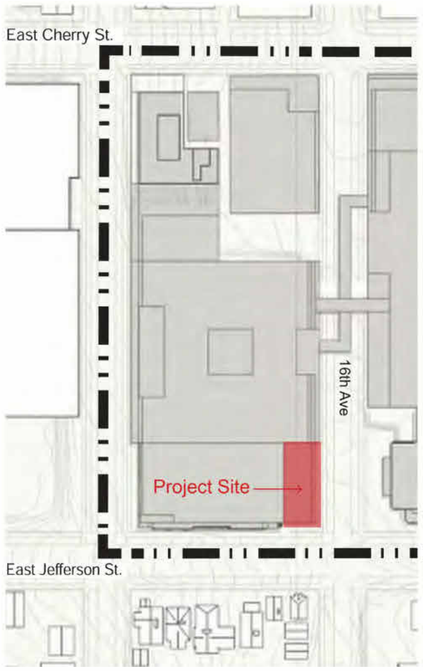
1 POWERLINE - EAST ELEVATION

SCALE: 1/8" = 1'-0"



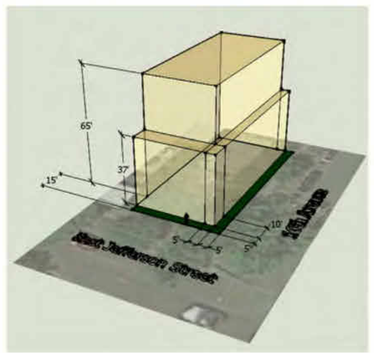
3 POWERLINE - NORTH ELEVATION

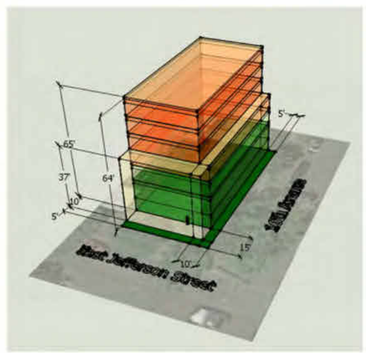
SCALE: 1/8" = 1'-0"



- Height limit = **65'** above average grade elevation
- Setback along E Jefferson St. - **5'** seback from Property line below **37'** height
  15' seback from Property line above **37'** height
- Setback along 16th Ave. - **5'** seback from Property line below **37'** height
  10' seback from Property line above **37'** height

(Based on MIMP Development Standards Figure B-6 Page 29, and Figure B-12 Page 35)





2 HEIGHT ALLOWANCE, SETBACK, SCALE DIAGRAM

SCALE: 12" = 1'-0"

4 POWERLINE - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

DATE 3/20/2024 9:35:34 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
1	2/17/2023	MUP Revision#2
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4
4	10/20/2023	MUP Revision#5

SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
LAND USE ANALYSIS - SETBACK DIAGRAMS AT OH POWERLINES

SHEET NUMBER

A0.04a

We encourage the designers and SDCI to work together in addressing the committees concerns as outlined above.

We have consulted with Carly, as pending this meeting comments will incorporate them in MUP correction set.

Swedish Cherry Hill SAC Members include:
Justin Kliewer Claire Lane Catherine Koehn Greg Swinton Amanda Twiss Lisa Fitzhugh
If you have any questions, please contact Nelson Pesigan at (206) 684-0209. For the Committee,
Nelson Pesigan Department of Neighborhoods Major Institutions and Schools Coordinator

The above answers in red have listed related answers to the questions in each section and subsection.
If you have any further questions or concerns, please do not hesitate to contact the design
team representative, the principal in Charge:

Radim Blazej, Founding Principal
Axis/GFA Architecture
radim@axisgfa.com

1.1.8 **Parking and Vehicle Access**
See 1.1.5 for comments about vehicles crossing the sidewalk. Although the meeting minutes show an SDOT request for parking access from 16th, the project proposes a garage entrance on Jefferson. The committee recommends that the Master Use Permit approval include a condition that exiting from the parking garage be right-turn-only, as proposed by the hotel design team. The hotel's parking garage must be included in the campus-wide dock management plan required by the MIMP as it includes service vehicles as well as guest parking.
The committee is concerned that the limited amount of parking provided in the building is not sufficient for the number of anticipated guests. We strongly encourage overflow parking be provided in Swedish parking lots given the limited garage capacity of the hotel.
Per previous comments, parking within building was eliminated. With IHG hotel brand the owner started negotiation with Sabey for overnight parking in the adjacent parking garage

1.2 EXTERIOR SPACES
1.2.1 **Statement of Intent:** See comments below.
Acknowledged.
1.2.2 **General Guidelines:** See comments below.
Acknowledged.
1.2.3 **Pedestrian Amenity:**
The walkway across the planting strip is appropriately sized and creates a pleasant pedestrian pathway. The committee recommends public benches be provided either in the right-of-way or between the sidewalk and the building. The large awnings over the patio along with the large amount of glazing at the first floor create a transparent and interactive experience at the pedestrian level. The committee believes the subtle, small-scale hotel signage is appropriate for the residential neighborhood and should be maintained.
No changes planned.

B2.1 **Height, Bulk and Scale**
B2.1.1 **Statement of Intent**
See comments below.
Acknowledged.

B2.1.2 **General Guidelines**
The stepped building minimized the bulk of the building.
Acknowledged.

B2.1.3 **Architectural and Façade Composition Guidelines**
The committee is concerned about the blank facades on the north and west sides of the building and does not feel the design meets MIMP guidelines for addressing large blank walls. This is a particular concern given the uncertainty regarding future buildings at the north and west. The "framed" composition at the north and west mitigates the large blank façade. However, the committee is concerned about the effect of weather on the west façade particularly if the façade composition relies primarily on painted materials.
The committee recommends additional depth and articulation provided by projecting elements if the building is not located directly on the property line.
There is a possibility to add 3-dimensional elements to the west and north façade, as well as lightning elements to provide character at the evening. However with the proposed parking garage expansion the façade will be mostly hidden, so we would focus on secure space between the garage and proposed hotel. The new design is set back from the property line to allow small 3dimensional elements to occur.

B2.1.4 **Secondary Architectural Feature Guidelines**

801 BLANCHARD ST SUITE 200 | SEATTLE WA 98121 | 206.367.1382 TEL | 206.367.1385 FAX

The entry canopy serves the dual purpose of providing cover at the entry while also adding depth to the façade. The stepping of the upper levels away from the street and wrapping the weathered steel type material successfully modulates the east and south facades. The project represents a "base", "middle" and "top" as directed by the design guidelines. The design does not demonstrate an architectural style that reflects the neighborhood buildings.
We believe that smoot materials response to the adjacent building across the street as well as recently developed residential project across E Jefferson. The rusty red colors to echo the brick buildings, warm beige and charcoal grey color and patterns to bring the contemporary design language to echo the surrounding new development.

B2.2 ARCHITECTURAL ELEMENTS AND FEATURES
B2.2.1 **Statement of Intent**
The design team has intentionally employed materials (weathered steel referencing brick, etc.) that reference the existing campus but are not the same materials as used on the existing campus buildings. They have also referenced the façade divisions of some existing campus buildings by framing building windows through material variation. The building begins to establish a new cohesive look for the campus through the selection color tones to echo the existing / historical buildings.
Acknowledged. See our answers in B2.1.4.

B2.2.2 **Color and Material Guidelines**
The committee supports the use of composite material in place of real wood panels for long term attractiveness and resistance to weathering, but recommends a warmer "wood" tone in place of the Ash color. The committee also encourages the designers to provide additional texture for the composite boards to reflect the neighborhood character and minimize the flatness of large panels. This can also be achieved through breaking panels into smaller segments. The committee is concerned about the durability and quality of product installation for the long term aesthetics of the building in the context of the neighborhood and campus.
The material that mimics weathered steel references the brick found on the campus and in the neighborhood, and its location on the first 3 floors is appropriate to the residential scale. The material provides visual depth that the committee would like to see extended to the other materials.
We propose to replace painted concrete with architectural finish/ sealed version. We have used composite wood imitation panels successfully on several projects and can attest to their durability. For fiber cement material, we can utility panels with integrated color to avoid bleaching and color variation.

B2.3 ROOFTOPS
B2.3.1 **Statement of Intent**
It is unclear if the rooftop decks will be publicly accessible or limited to hotel guests only. The committee recommends that if the rooftop garden is publicly accessible restricted hours noise levels as appropriate for a residential neighborhood should be enforced.
No changes. Hotel guests will be using the roof deck.

B2.3.2 **Rooftop Design Guidelines**
The division of the rooftop deck into smaller, intimate spaces will discourage noise from large gatherings while creating unique experiences at each space. The committee appreciates the low down lighting to minimize light pollution and impacts to neighboring properties.
No changes. Hotel guests will be using the roof deck.

Summary Recommendation:
To summarize, the committee feels the applicant has designed an attractive building that successfully meets many of the design guidelines.

We only hope to make it a reality.

801 BLANCHARD ST SUITE 200 | SEATTLE WA 98121 | 206.367.1382 TEL | 206.367.1385 FAX

Ms. Carly Guillory
Seattle Department of Construction & Inspection
700 Fifth Avenue, Suite 2000 P.O. Box 34019
Seattle, WA 98124-4019

January 11, 2023

Responses to the comments received on Oct. 3rd, 2019 from Swedish Cherry Hill
Standing Advisory Committee on Proposed Candlewood Suites, an IHG brand hotel
(formerly known as Sanctuary Hotel) at 1522 E. Jefferson Street, Seattle, WA 98122 (Project #3025500)

Carly, SAC board. Here is the updated responses the last letter issued by the board on Oct. 3rd, 2019.
AXIS/GFA has become a new Architect tasked to finalize the entitlement of the project.
Given the effort by the city and the board, we have tried to minimize any exterior changes and massing previously approved by the board. Since the change of the architect occurred, we don't have all the history of interaction with the board and may have interpreted board suggestions differently then they were intended. We seek this opportunity to present revised program and commitment to construction of the project, as well as seek any additional clarifications you may have.

The project changed the program and now has become a Candlewood Suites, an IHG brand hotel with firm commitment to construction commencement in 2023, pending approved plans.
As before, the project anticipates it will cater to temporary staff, patient and families of Swedish Hospital.

Below are original questions and refreshed responses, based on revised design and direction:

1.1.1: **SMC AND MIMP PERMITTED USES**
According to Seattle Municipal Code which governs Major Institution Master Plans, section **23.69.008** concerns **Permitted Uses:**
A. All uses that are functionally integrated with, or substantively related to, the central mission of a Major Institution ***or*** that **primarily and directly serve the users of an institution** shall be defined as Major Institution uses and shall be permitted in the Major Institution Overlay (MIO) District.
B. The following characteristics shall be among those used by the Director to determine whether a use is functionally integrated with, or substantially related to, the central mission of the Major Institution. Permitted Major Institution uses shall not be limited to those uses which are owned or operated by the Major Institution.
Answer:
A. Please refer to the MOU signed on 10/11/2018 by Swedish Chief Real Estate Officer Mike Denney, a current representative of Swedish Medical Center, as well as the client "Perfect Wealth Investments, LLC" that a clear understanding has been established that the proposed project with boutique hotel function is meeting the requirement of A:
"Functionally integrated with, or substantively related to, the central mission of Swedish Cherry Hill *or primarily and directly serve the users of an institution".*
B. Please refer to the email and formal document issued by SDCI (Seattle Department of Construction & Inspections) on March 16, 2018 to demonstrate the Director's decision to designate "Hotel" as the permitted use according to MIMP. This fulfill the requirement mentioned in B:
"The following characteristics shall be among those used by the Director to determine whether a use is functionally integrated with, or substantively related to, the central mission of the Major Institution. "
Please also refer to the letter from the applicant to SDCI on November 2016

801 BLANCHARD ST SUITE 200 | SEATTLE WA 98121 | 206.367.1382 TEL | 206.367.1385 FAX

requesting approval for hotel as a permitted use.

MIMP DESIGN GUIDELINES
Below are the SAC's comments and recommendations based on our design review of the proposed hotel.
1.1.2 **General Guidelines**
The hotel design team presented a project with the goal of addressing the streetscape, mitigating the blank façades, acknowledging the character of the campus and surrounding neighborhood and softening the building edges on a highly visible street corner through landscape design.
Refer to the landscape plan within the package.

1.1.3 **Street Frontage Edge:**
The first-floor awning at the outdoor seating area provides a nice functional outdoor space along the street front and serves to break up the street level façade. The use of low-level lighting is appreciated as it will limit the light impacts on neighboring properties. We encourage the project team to include benches at the street frontage, either in the Right-of-Way or between the property line and the building.
We intent to integrate benches in the planter/ landscape design

1.1.4 **Connection to the Street:**
The proposed pathway between the street and building adjacent to the building entrance on 16th Ave provides a clear and accessible physical connection between the street and building. The street level windows provide a visual connection between the street and building interior.
We maintained the glazing and open exterior-interior connection on the 16th Avenue adjacent to the lobby

1.1.5 **Public Entrances:**
The way the building is situated on a hill lends itself to a single primary entrance. The service entrance on Jefferson is appropriately downplayed and differentiated. The committee recommends a color or material transition at the sidewalk to alert pedestrians to the vehicle crossing (as allowed by SDOT). The right-turn only sign, roll-gate, and appropriate alert signals (during daylight hours only) for the garage entry are important and should be maintained.
IN revised design we have removed the nonfunctional parking in the basement, reduced the curb cut to only serve as service access and staging for the refuse collection.

1.1.6 **Streetscape and Pedestrian Pathways**
The committee recommends benches or other seating located along E Jefferson either in the planting strip or between the sidewalk and the site wall (with the acknowledgement that seating design should not encourage loitering). Benches are particularly important as the hotel may include medical patients in a fragile medical state. The committee recommends bike parking rack(s) in the right-of-way for general public use if allowed as part of the Street Improvement Plan. The project does not include aspects of the Health Walk described in the MIMP as bordering the MIO.
We intent to integrate benches in the planter/ landscape design

1.1.7. **Sidewalks**
The committee does not feel that sidewalk overhead weather protection is required or appropriate at this location. The low-level landscape lighting as proposed should minimize light impact on neighboring properties and should be maintained.
No changes proposed to the existing lighting/ canopy design.

801 BLANCHARD ST SUITE 200 | SEATTLE WA 98121 | 206.367.1382 TEL | 206.367.1385 FAX

DATE 3/20/2024 9:35:37 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

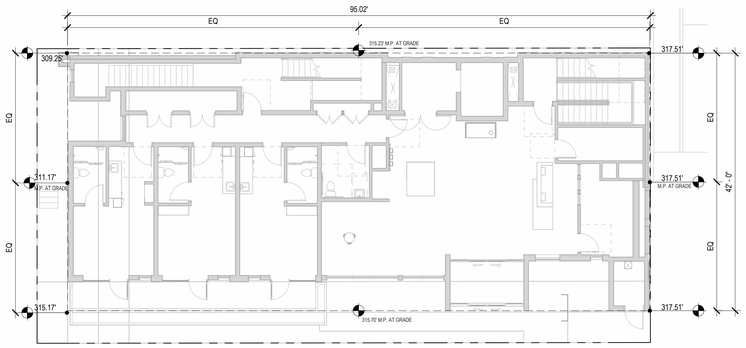
	DATE	ISSUES & REVISIONS

SCALE AS SHOWN

PROJECT NUMBER 22030

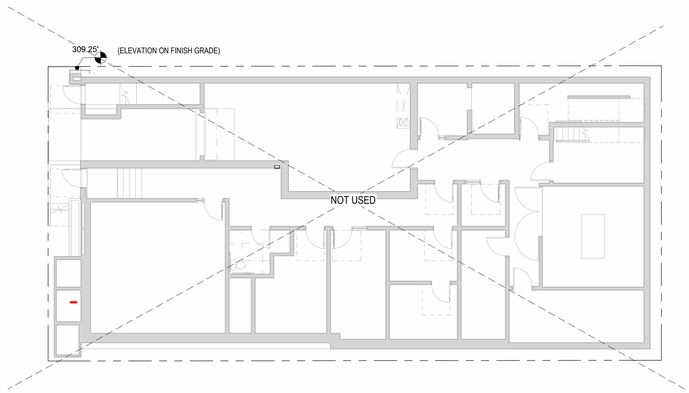
DESCRIPTION
DESIGN REVIEW RESPONSE

SHEET NUMBER
A0.05



1 AVERAGE GRADE CALCULATION -L1

SCALE: 1" = 10'-0"



2 AVERAGE GRADE CALCULATION - P1 NOT USED

SCALE: 1" = 10'-0"

95.02

309.25 | 315.23 | 317.51

42.00 | 311.17 | 317.51 | 42.00

315.17 | 315.70 | 317.51

95.02

AVERAGE GRADE CALCULATION:

A = 315.23 B = 317.51 C = 315.7 D = 311.17

a = 95.02 b = 42 c = 95.02 d = 42

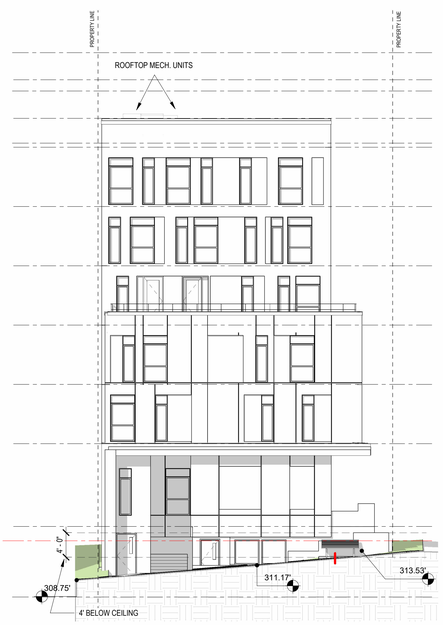
$$\text{AVERAGE GRADE} = \frac{(A+a)+(B+b)+(C+c)+(D+d)}{(a+b+c+d)}$$

$$= \frac{(315.23 \times 95.02) + (317.51 \times 42) + (315.7 \times 95.02) + (311.17 \times 42)}{(95.02 + 42 + 95.02 + 42)}$$

$$= \frac{(29953.15 + 13335.42 + 29997.81 + 13069.14)}{274.04}$$

$$= \frac{86355.53}{274.04}$$

= 315.12 (315'-1")

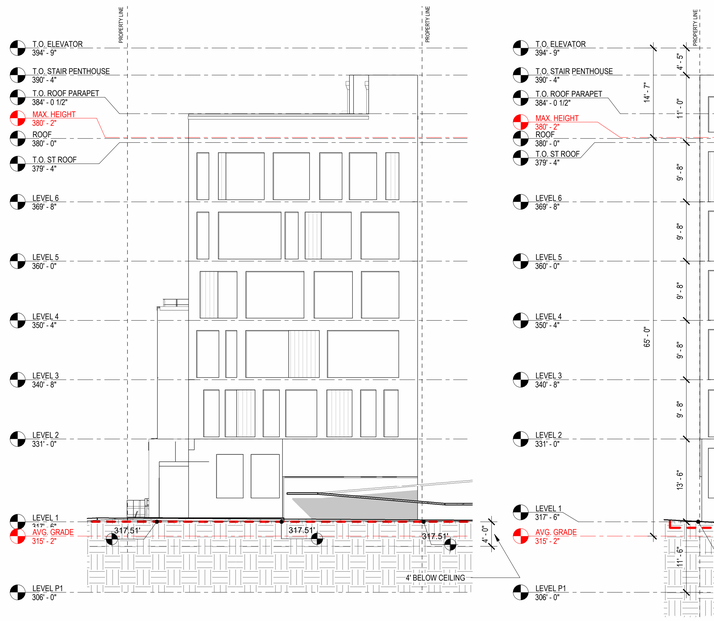


3 ELEVATION - SOUTH (height study)

SCALE: 1" = 10'-0"

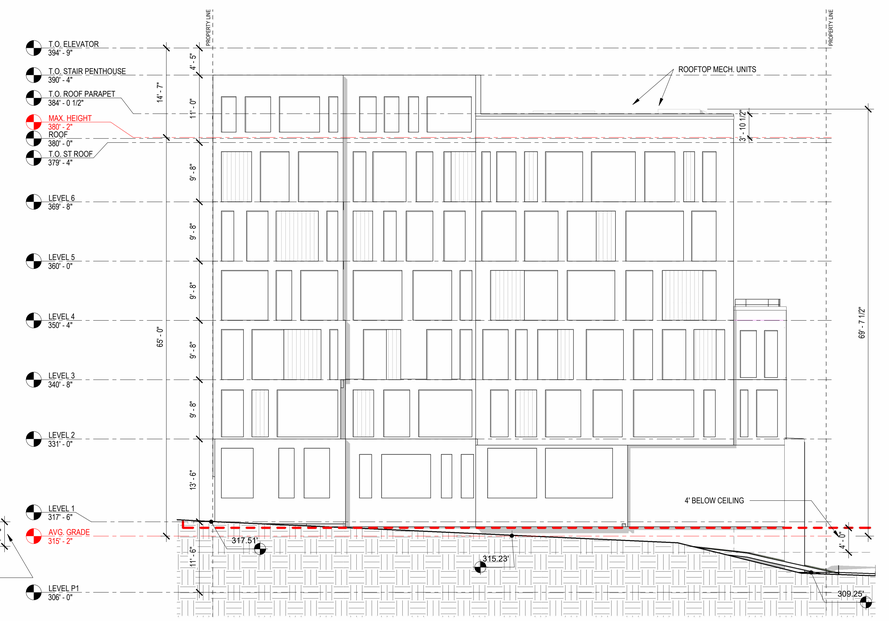
5 ELEVATION - EAST (height study)

SCALE: 1" = 10'-0"



4 ELEVATION - NORTH (height study)

SCALE: 1" = 10'-0"



6 ELEVATION - WEST (height study)

SCALE: 1" = 10'-0"

DATE 3/20/2024 9:35:48 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
1	2/17/2023	MUP Revision#2
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4
4	10/20/2023	MUP Revision#5

SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
LAND USE ANALYSIS - AVERAGE GRADE CALCULATIONS

SHEET NUMBER

A0.06

SOLID WASTE STORAGE ROOM SIZE REQUIREMENTS:

SOLID WASTE STORAGE CALCULATION - NON - RESIDENTIAL	SF
PER SMC 23.54.040.A & TABLE A - REQUIRED AREA =	175
PROVIDED AREA	522
TOTAL NO. OF UNITS	**37**
PICKUP PER WEEK	**2**

			CUBIC YARDS (per week)	NO. OF 2 CU.YD CONTAINERS UNCOMPACTED			NO. OF 3 CU.YD CONTAINERS UNCOMPACTED			NO. OF 4 CU.YD CONTAINERS UNCOMPACTED		
				REQ.	NEEDED		REQ.	NEEDED		REQ.	NEEDED	
					1 per week	2 per week		1 per week	2 per week		1 per week	2 per week
HOTEL	GARBAGE	2 CUBIC YARD FOR 10 UNITS/ WEEK	7.40	3.70	4.00	2.00	2.47	3.00	2.00	1.85	2.00	1.00
	RECYCLING	2 CUBIC YARD FOR 10 UNITS/ WEEK	7.40	3.70	4.00	2.00	2.47	3.00	2.00	1.85	2.00	1.00
		NO. OF 96 GAL. CARTS										
	FOOD WASTE	1 96 GAL. CART PER 50 UNITS	1.11									
	SUBTOTAL	UNCOMPACTED: 2 GARBAGE, 2 RECYCLE (2 CU YD CONTAINERS); 2 FOOD WASTE TWICE A WEEK										
		ALT. UNCOMPACTED:										
		COMPACTED: N/A										
TOTAL		UNCOMPACTED: TOTAL 2 GARBAGE & 2 RECYCLE TWICE A WEEK (2 CU YD CONTAINERS); 2 FOOD WASTE A WEEK										
		COMPACTED: N/A										

PER SMC 23.54.040.TABLE A:

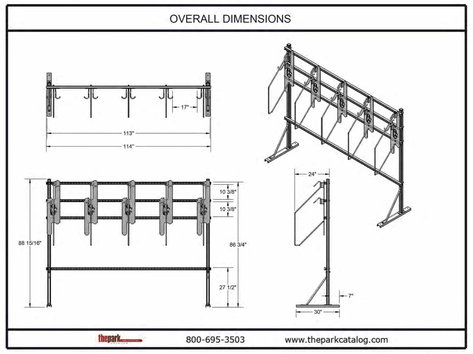
NON-RESIDENTIAL DEVELOPMENT (BASED ON GROSS FLOOR AREA OF ALL STRUCTURES ON THE LOT) - 15,001 —50,000 SQUARE FEET

MINIMUM AREA FOR SHARED STORAGE SPACE = 175 SQUARE FEET

CALCULATIONS:

TOTAL BUILDING GROSS FLOOR AREA: 23,056.81 SF

PROPOSED SF: 522 SF > 175 SF = **COMPLIANT**

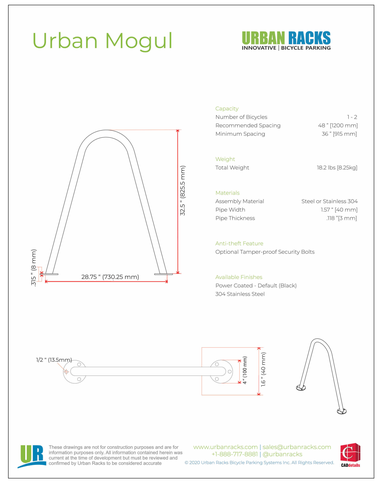


Page 11 of 11

B1 LONG-TERM BIKE RACK PRODUCT DATA

SCALE: 12" = 1'-0"

23.54.015. TABLE D
LONG-TERM = 3 PER 40 RENTABLE ROOMS; SHORT-TERM = 1 PER 20 RENTABLE ROOMS



B2 SHORT TERM FLOOR MOUNTED BIKE RACK

SCALE: 12" = 1'-0"

Seattle Public Utilities

July 26, 2023

Kin Leung
Axis/GFA Architecture + Design

Dear Kin,

Thank you for submitting to SPU the solid waste service plans for the proposed project at **505 16th Ave.,** subject to review by the Seattle Department of Construction and Inspections (SDCI) as Permit **#3025500-LU.**

SPU has reviewed your solid waste plans and approves the following conditions:

37 hotel rooms

- Building management will move all dumpsters and carts to the staging area on 16th Ave per the site plan.
- Existing curb cut north of the property line on 16th Ave to be used to move dumpsters to the street.

Commercial Services

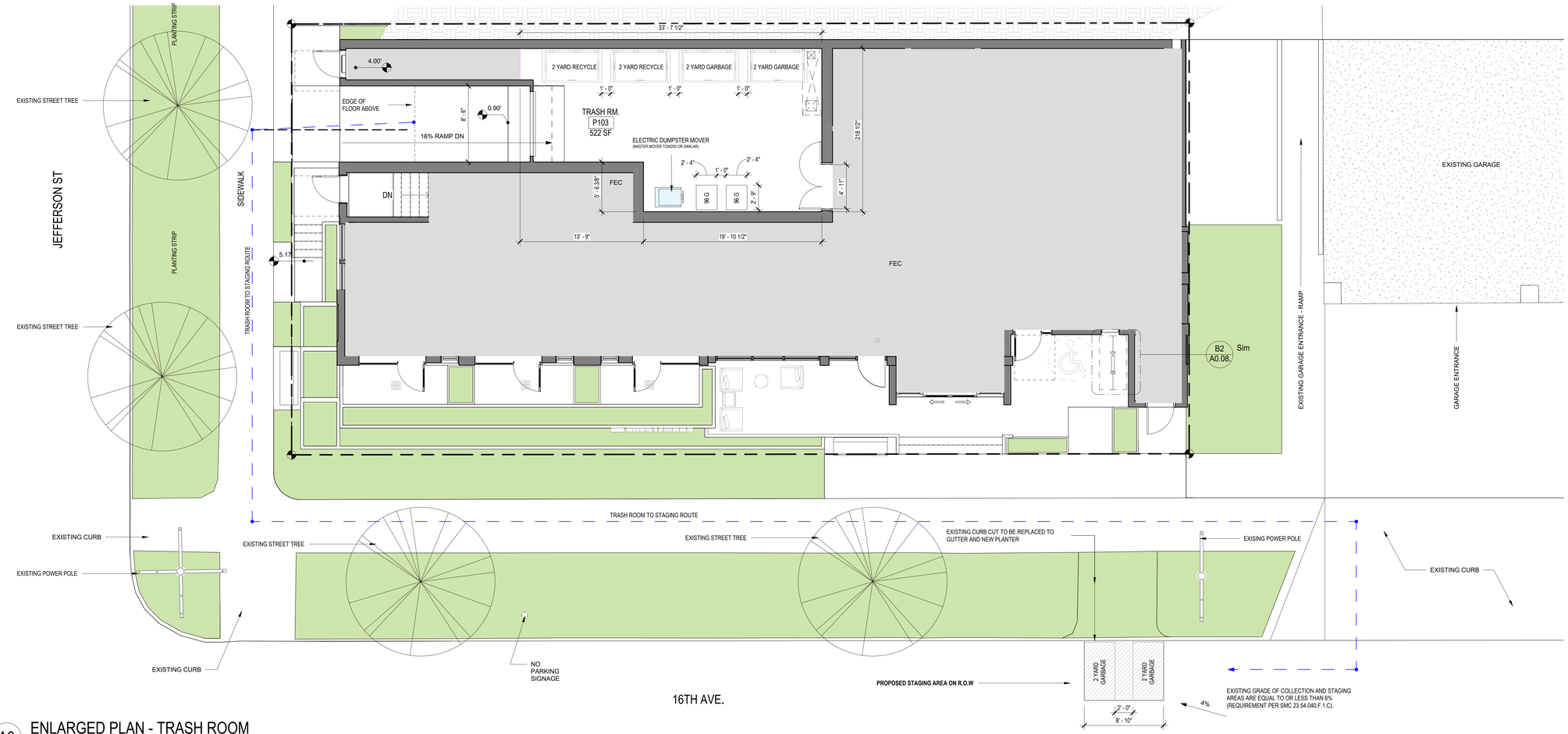
- Recycle: 2 — 2 cubic yard dumpsters collected 2x/week
- Garbage: 2 — 2 cubic yard dumpsters collected 2x/week
- Food+yard: 2 — 96-gal carts collected weekly

Please work with the assigned SDCI zoning reviewer to adopt this plan. **If the attached drawings differ from the permit drawings,** you will need to update your application to consistently reflect the proposal and resubmit to SPU for approval.

Sincerely,

Adam Maurer
Seattle Public Utilities
adam.maurer@seattle.gov
206.300.9613

700 Fifth Avenue | PO Box 34018 | Seattle, WA 98124-4018 | 206-684-3000 | seattle.gov/util



A3 ENLARGED PLAN - TRASH ROOM

SCALE: 3/16" = 1'-0"

DATE 10/20/2023 3:10:49 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
1	2/17/2023	MUP Revision#2
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4
4	10/20/2023	MUP Revision #5

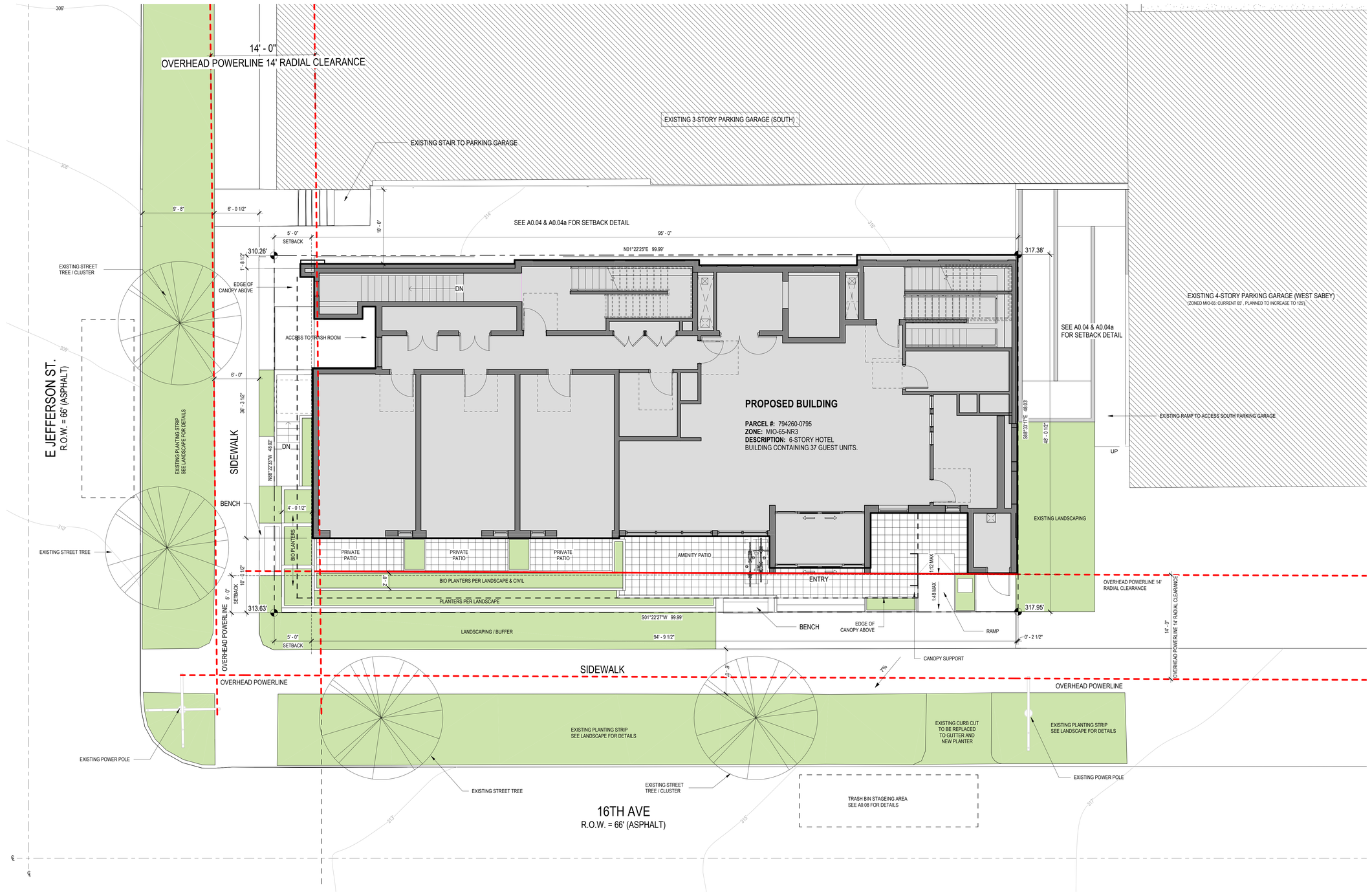
SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
LAND USE ANALYSIS - TRASH ROOM REQUIREMENTS

SHEET NUMBER

A0.08.



1 SITE PLAN
SCALE: 3/16" = 1'-0"

DATE 3/20/2024 9:35:56 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU
MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

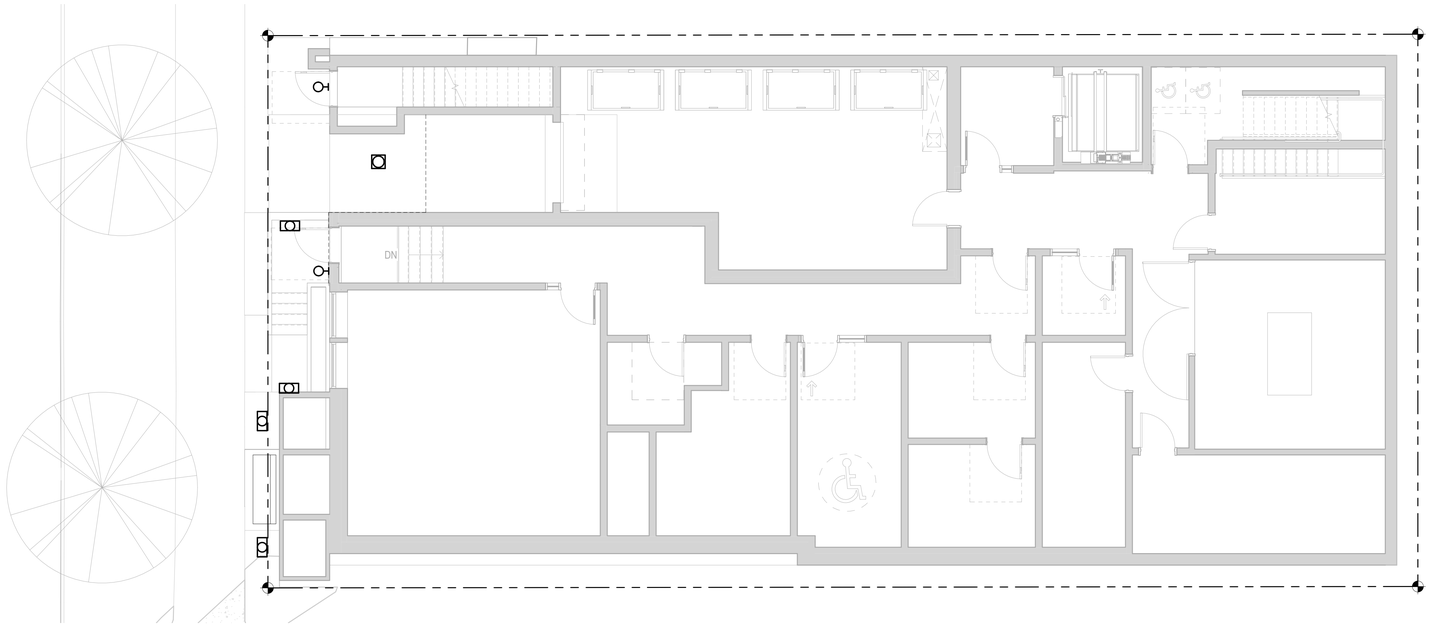
	DATE	ISSUES & REVISIONS
3	8/21/2023	MUP Revision#4

SCALE AS SHOWN

PROJECT NUMBER 22030

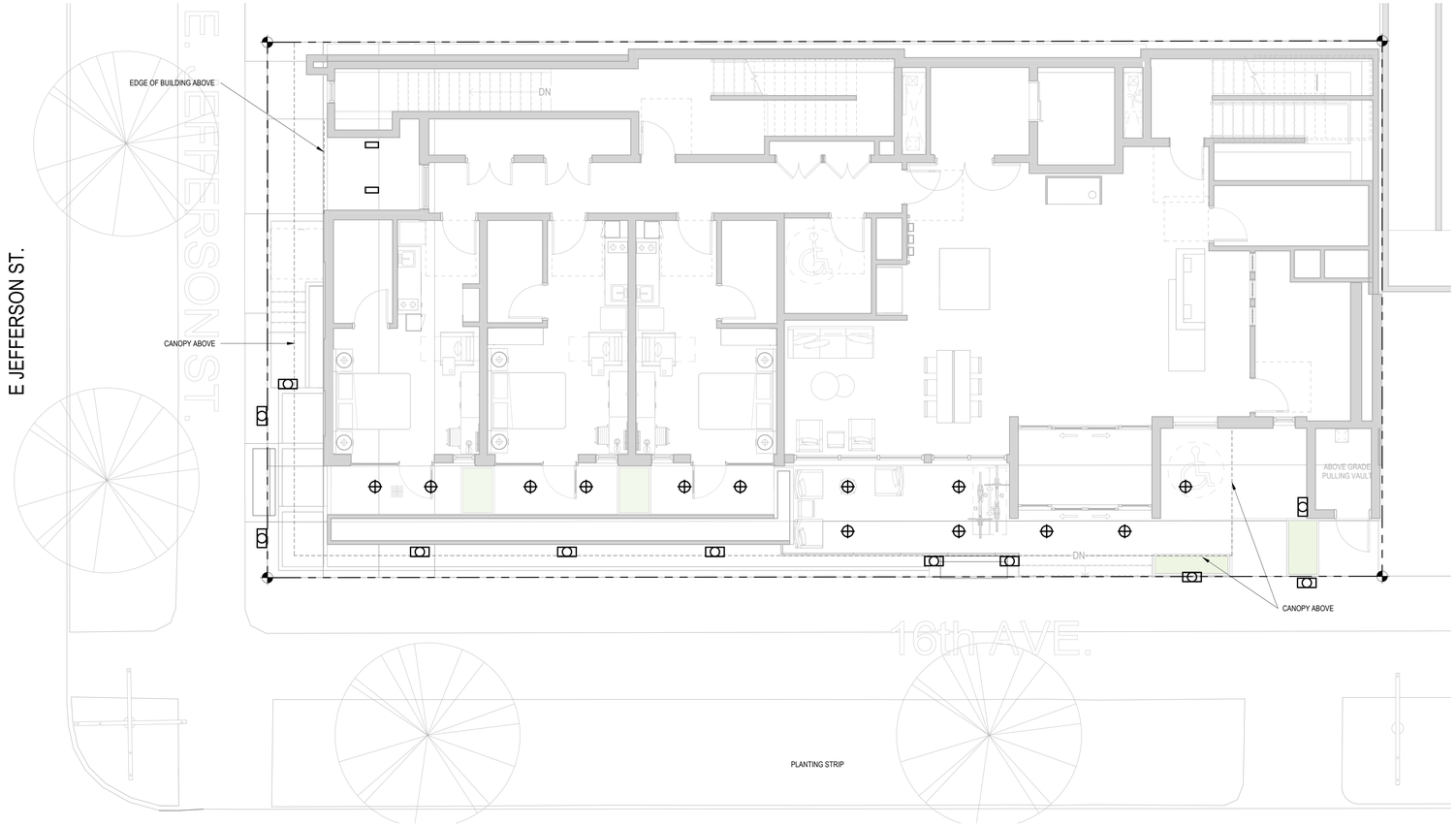
DESCRIPTION
SITE PLAN

SHEET NUMBER
A1.00



1 LIGHTING PLAN - LEVEL P1

SCALE: 3/16" = 1'-0"



2 LIGHTING PLAN - LEVEL 1

SCALE: 3/16" = 1'-0"

LIGHTING PLAN NOTES

1. LIGHT AND GLARE: EXTERIOR LIGHING SHALL BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES PER SMC 23.49.025.C

LIGHTING LEGEND

- WALL SCONCE
- BOLLARD LIGHT
- SOFFIT LIGHT
- EGRESS LIGHT
- LANDSCAPE UP LIGHT
- DIRECTIONAL LIGHTING
- RAIL/WALL MOUNT LIGHT
- STRING LIGHTING

NOTE: PER SMC 23.45.534: ALL LIGHTING TO BE SHIELDED DOWN AND DIRECTED AWAY FROM ADJACENT PROPERTIES

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

NO.	DATE	ISSUES & REVISIONS

SCALE AS SHOWN

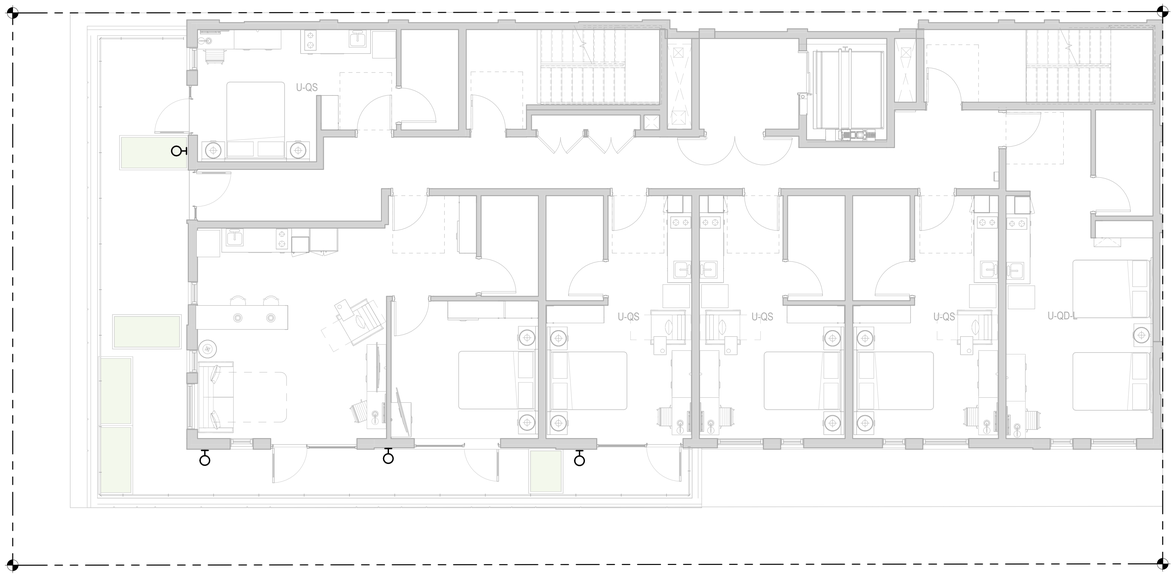
PROJECT NUMBER 22030

DESCRIPTION
SITE LIGHTING PLAN

SHEET NUMBER

A1.10

DATE 3/20/2024 9:35:59 PM



1 LIGHTING PLAN - LEVEL 4 ROOD DECK

SCALE: 3/16" = 1'-0"

LIGHTING PLAN NOTES

1. LIGHT AND GLARE: EXTERIOR LIGHING SHALL BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES PER SMC 23.49.025.C

LIGHTING LEGEND

- WALL SCONCE
- BOLLARD LIGHT
- SOFFIT LIGHT
- EGRESS LIGHT
- LANDSCAPE UP LIGHT
- DIRECTIONAL LIGHTING
- RAIL/WALL MOUNT LIGHT
- STRING LIGHTING

NOTE: PER SMC 23.45.534: ALL LIGHTING TO BE SHIELDED DOWN AND DIRECTED AWAY FROM ADJACENT PROPERTIES

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS

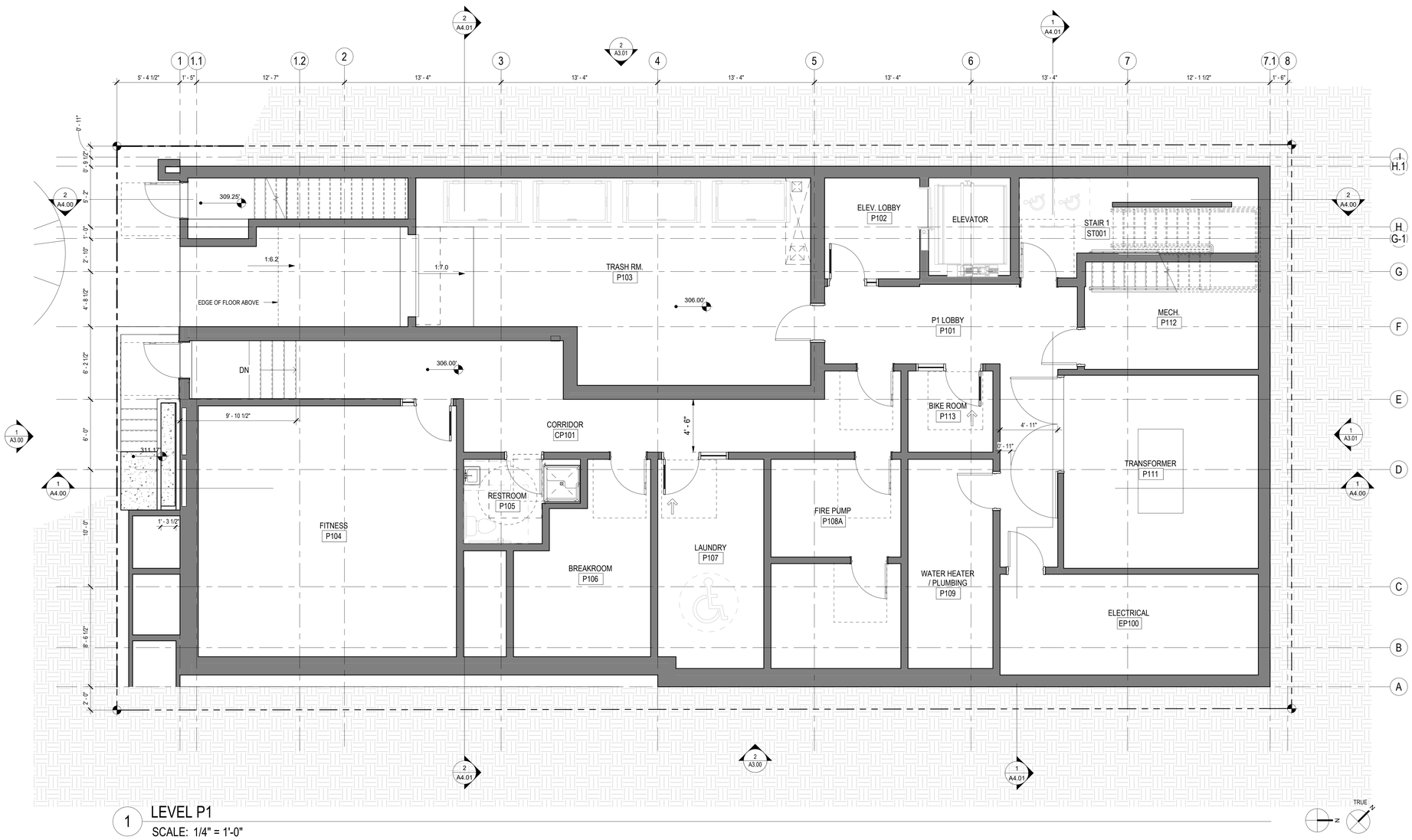
SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
SITE LIGHTING PLAN

SHEET NUMBER
A1.11

DATE 3/20/2024 9:36:01 PM



1 LEVEL P1

SCALE: 1/4" = 1'-0"

DATE 3/20/2024 9:36:02 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

NO.	DATE	ISSUES & REVISIONS
3	8/21/2023	MUP Revision#4

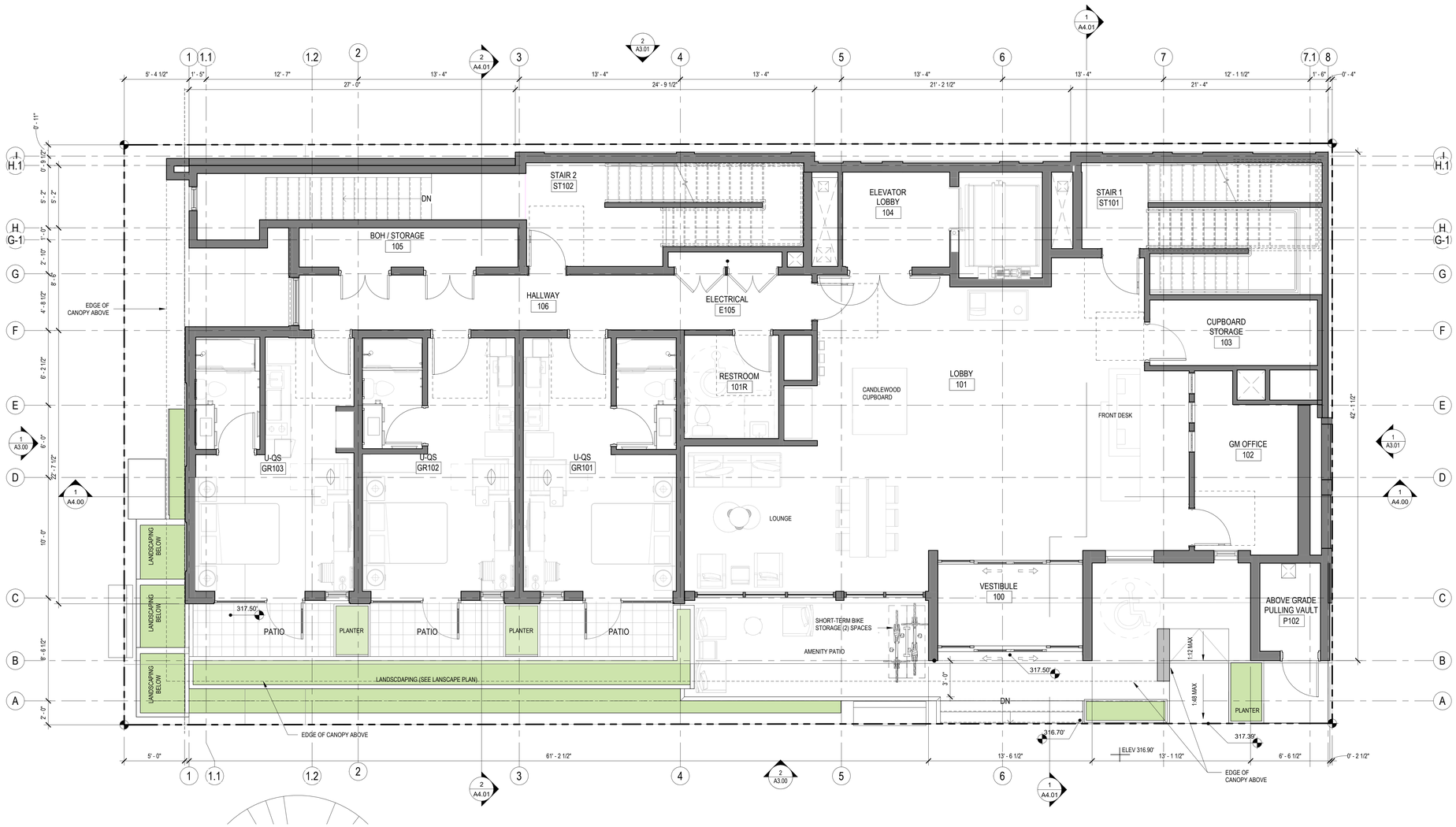
SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
LEVEL P1 - FLOOR PLAN

SHEET NUMBER

A2.00



A1 LEVEL 1

SCALE: 1/4" = 1'-0"

DATE 3/20/2024 9:36:04 PM

AXIS GFA

801 BLANCHARD ST,
SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS

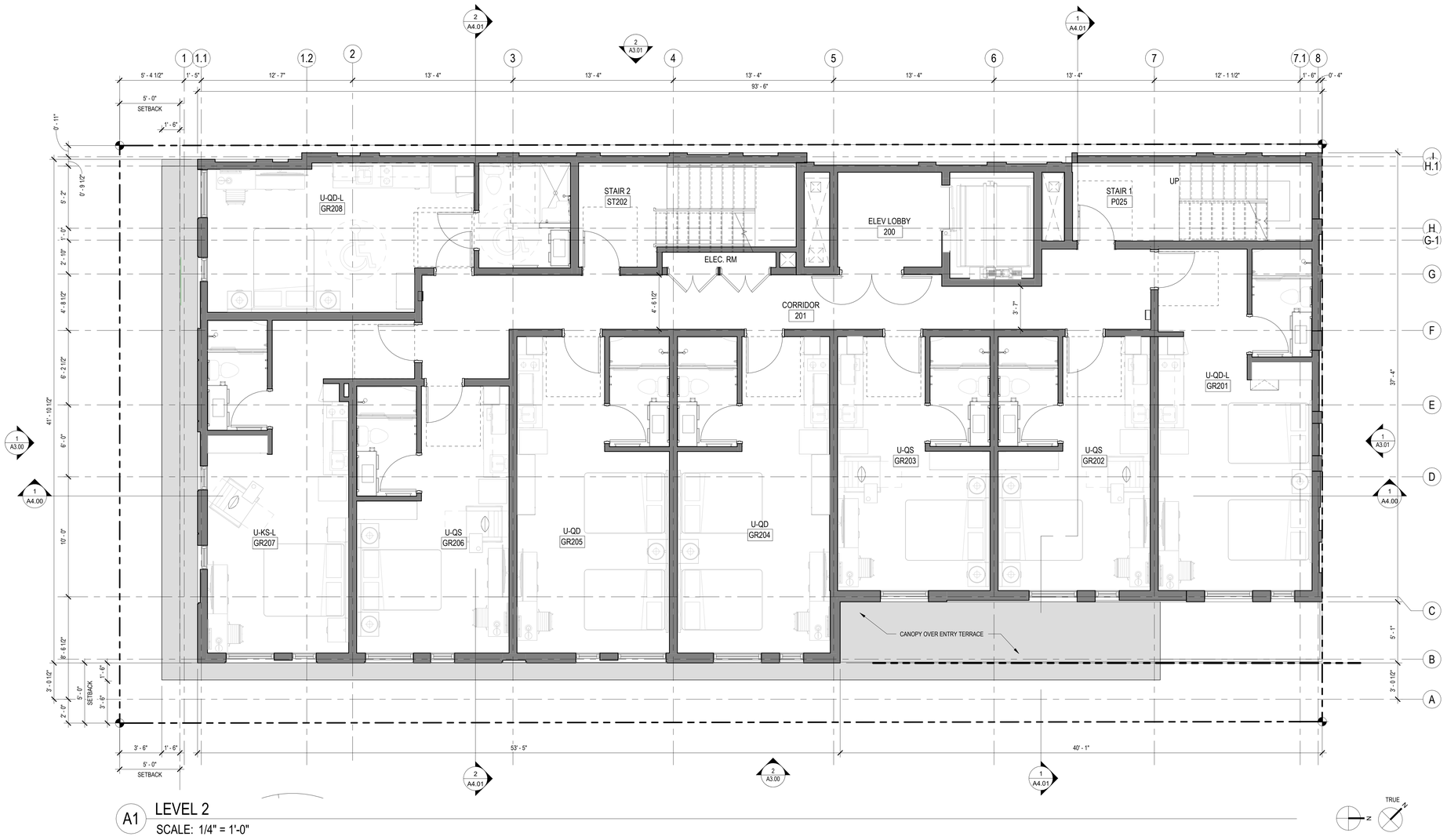
SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
LEVEL 1 - FLOOR PLAN

SHEET NUMBER

A2.01



A1 LEVEL 2

SCALE: 1/4" = 1'-0"

DATE 3/20/2024 9:36:05 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
2	6/13/2023	MUP Revision#3

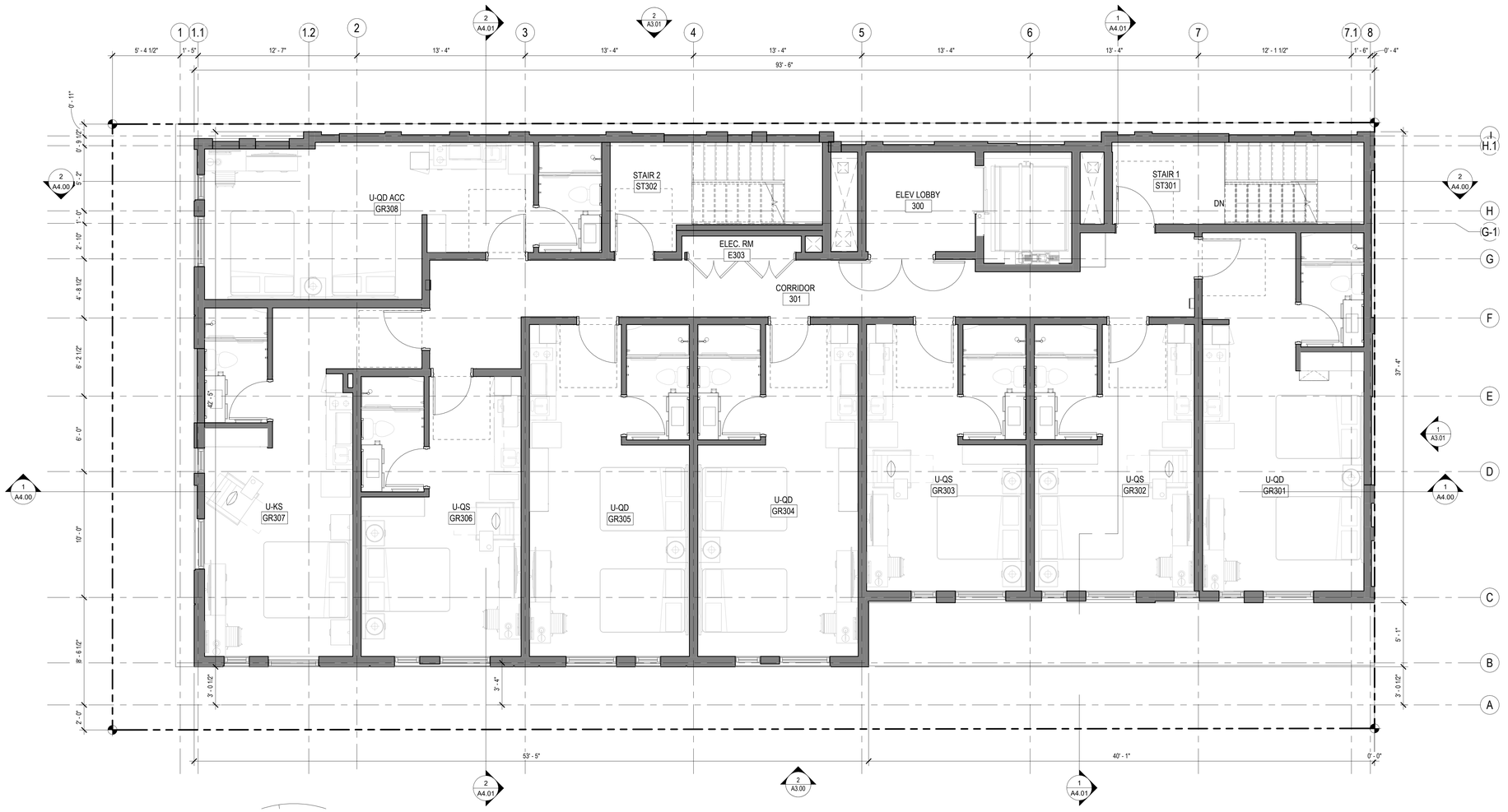
SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
LEVEL 2 - FLOOR PLAN

SHEET NUMBER

A2.02



A1 LEVEL 3

SCALE: 1/4" = 1'-0"

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
2	6/13/2023	MUP Revision#3

SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
LEVEL 3 - FLOOR PLAN

SHEET NUMBER

A2.03

DATE 3/20/2024 9:36:07 PM

A1 LEVEL 4

SCALE: 1/4" = 1'-0"

TRUE N

DATE 3/20/2024 9:36:09 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

No.	DATE	ISSUES & REVISIONS
2	6/13/2023	MUP Revision#3

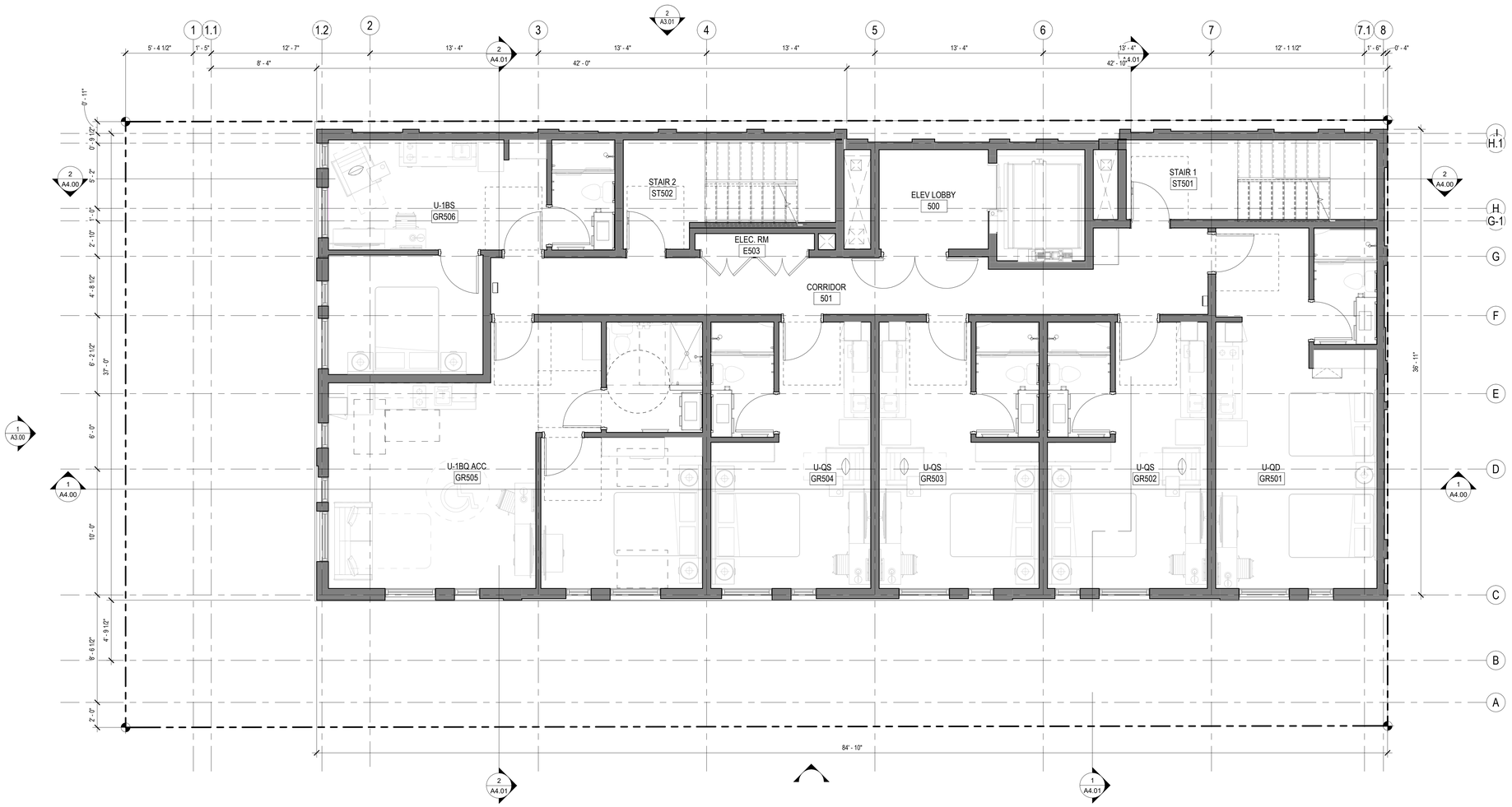
SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
LEVEL 4 - FLOOR PLAN

SHEET NUMBER

A2.04



A1 LEVEL 5

SCALE: 1/4" = 1'-0"

DATE 3/20/2024 9:36:10 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

NO.	DATE	ISSUES & REVISIONS

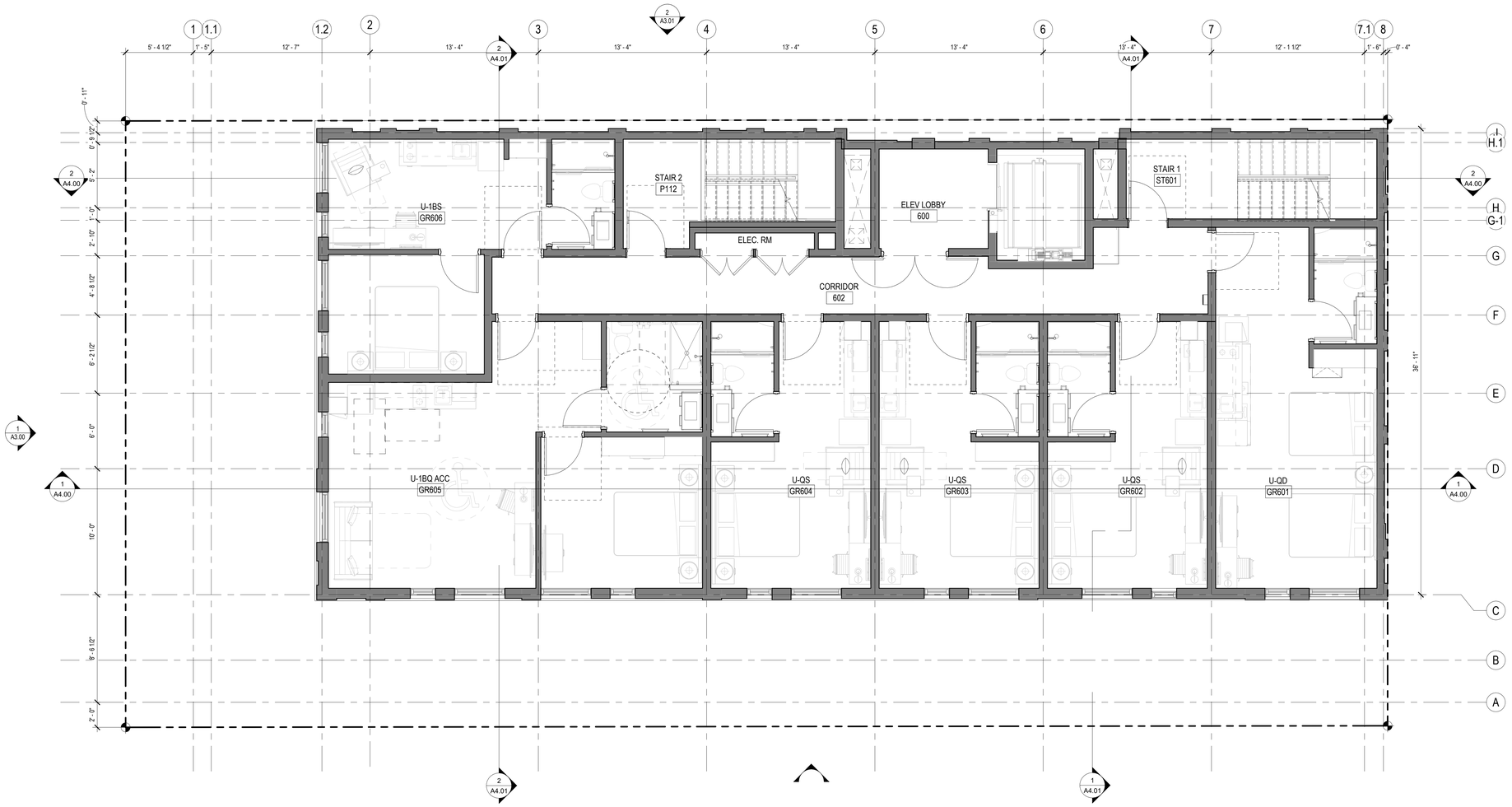
SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
LEVEL 5 - FLOOR PLAN

SHEET NUMBER

A2.05



1 LEVEL 6

SCALE: 1/4" = 1'-0"

DATE 3/20/2024 9:36:12 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS

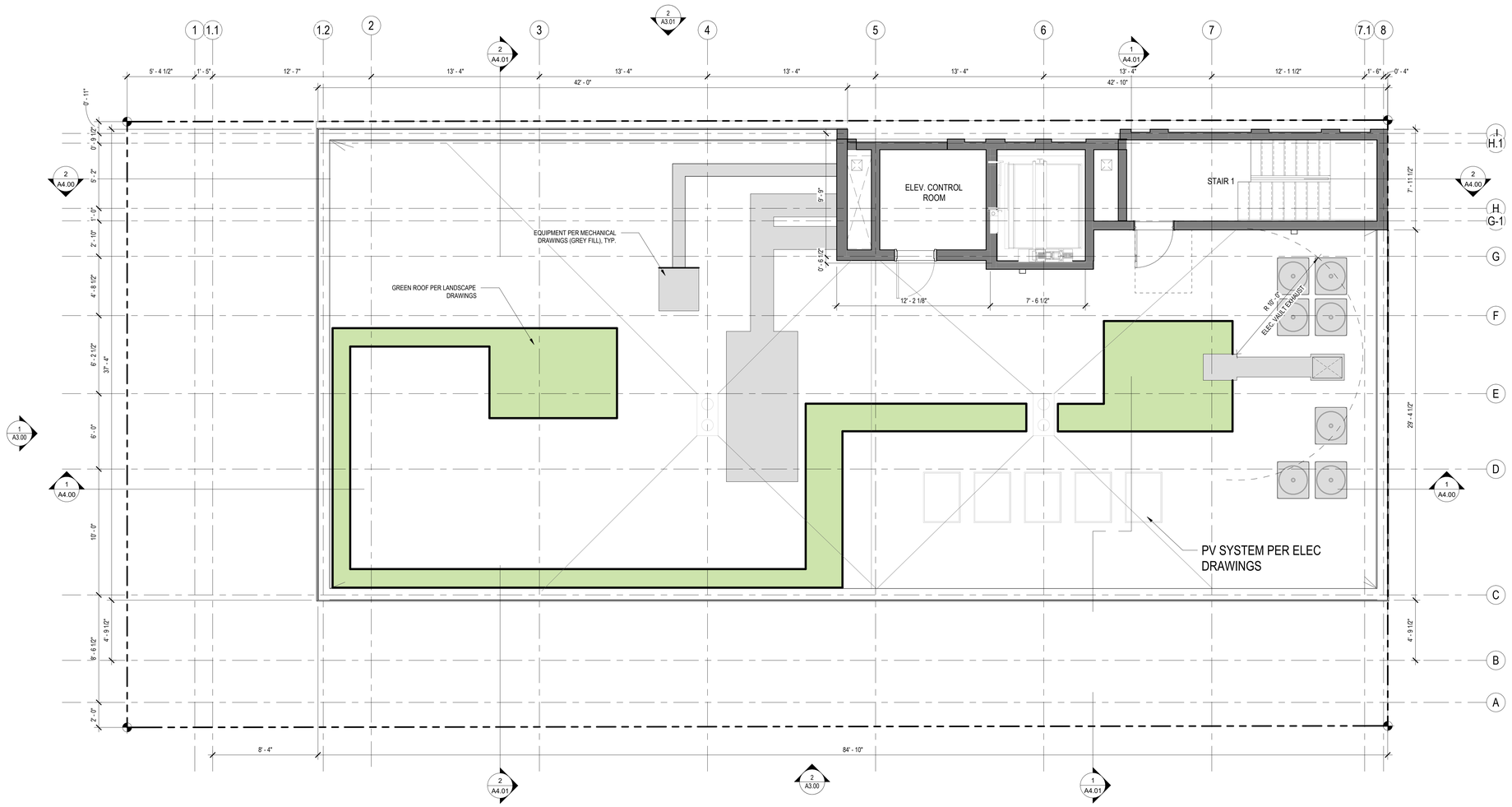
SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
LEVEL 6 - FLOOR PLAN

SHEET NUMBER

A2.06



1 ROOF TOP LEVEL

SCALE: 1/4" = 1'-0"

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
2	6/13/2023	MUP Revision#3

SCALE AS SHOWN

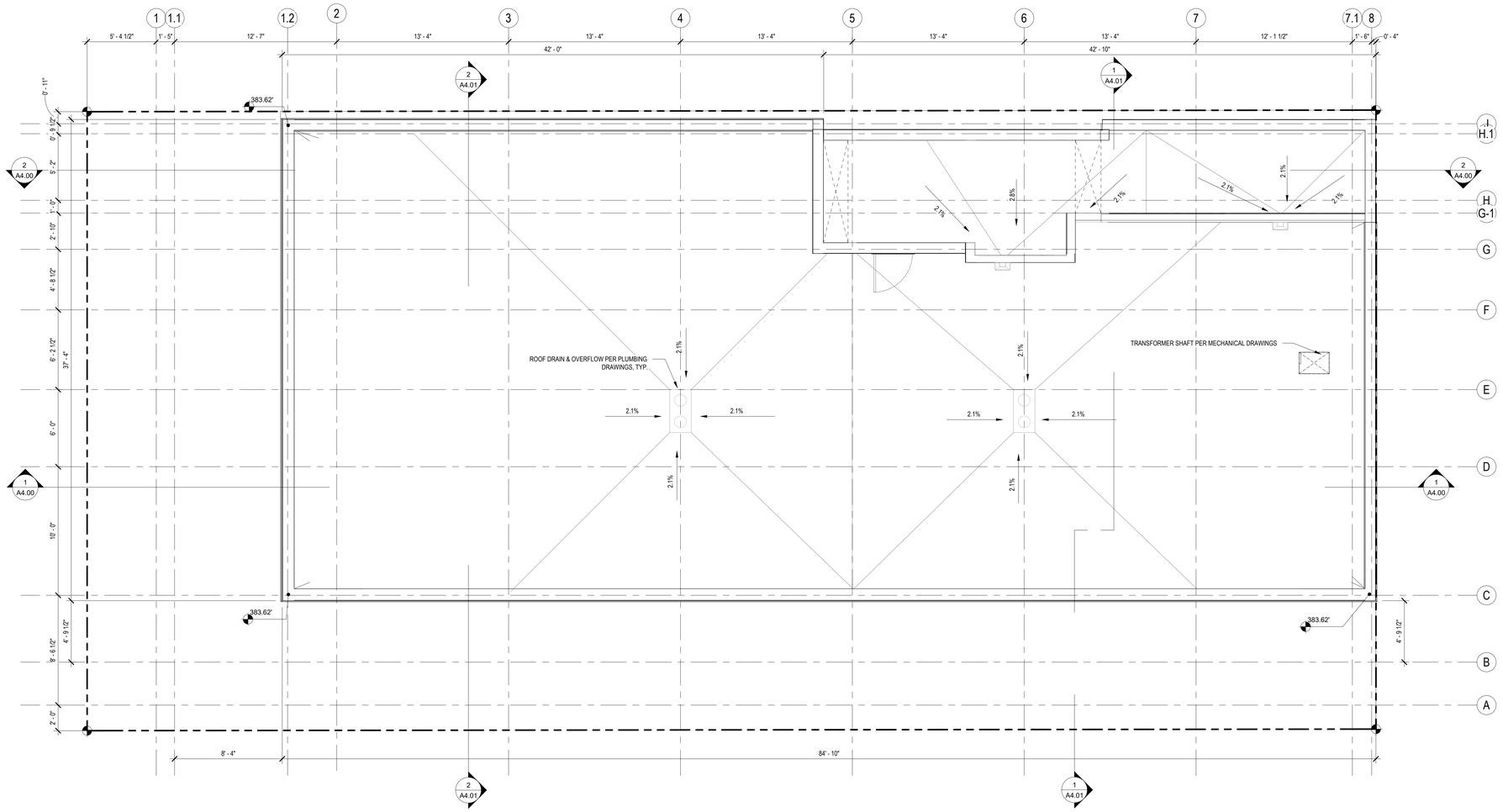
PROJECT NUMBER 22030

DESCRIPTION
ROOFTOP DECK

SHEET NUMBER

A2.07

DATE 3/20/2024 9:36:12 PM



1 T.O. PENTHOUSE PLAN

SCALE: 1/4" = 1'-0"

DATE 3/20/2024 9:36:13 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4

SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
ROOFTOP

SHEET NUMBER

A2.08

1 ELEVATION - SOUTH

SCALE: 1/8" = 1'-0"

2 ELEVATION - EAST

SCALE: 1/8" = 1'-0"

MATERIALS LEGEND

ID.	DESCRIPTION	MATERIAL / COLOR
BX-1	BASE EXTERIOR 1	PAINTED CONCRETE
FX-1	FIELD/BODY EXTERIOR 1	RUSTED METAL SIDING
FX-2	FIELD/BODY EXTERIOR 2	FIBER CEMENT SIDING, PAINTED DARK GREY
FX-3	FIELD/BODY EXTERIOR 3	FIBER CEMENT SIDING, PAINTED WHITE
FX-4	FIELD/BODY EXTERIOR 4	FIBER CEMENT SIDING, PAINTED BLACK
FX-5	FIELD/BODY EXTERIOR 5	FIBER CEMENT SIDING, PAINTED LIGHT GREY
AX-1	ACCENT EXTERIOR 1	WOOD COMPOSITE CLADDING
GR-1	METAL GUARDRAIL	PRE-GALV STEEL, POWDER COATED GLOSS BLACK
CN-1	METAL CANOPY	GALVANIZED STEEL
VW-1	WINDOW FRAME	VINYL, WHITE
VW-2	WINDOW FRAME	VINYL, BLACK
ST-1	STOREFRONT FRAME	ALUMINUM, ANODIZED BLACK

DATE 3/20/2024 9:36:21 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
1	2/17/2023	MUP Revision#2
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4
4	10/20/2023	MUP Revision#5

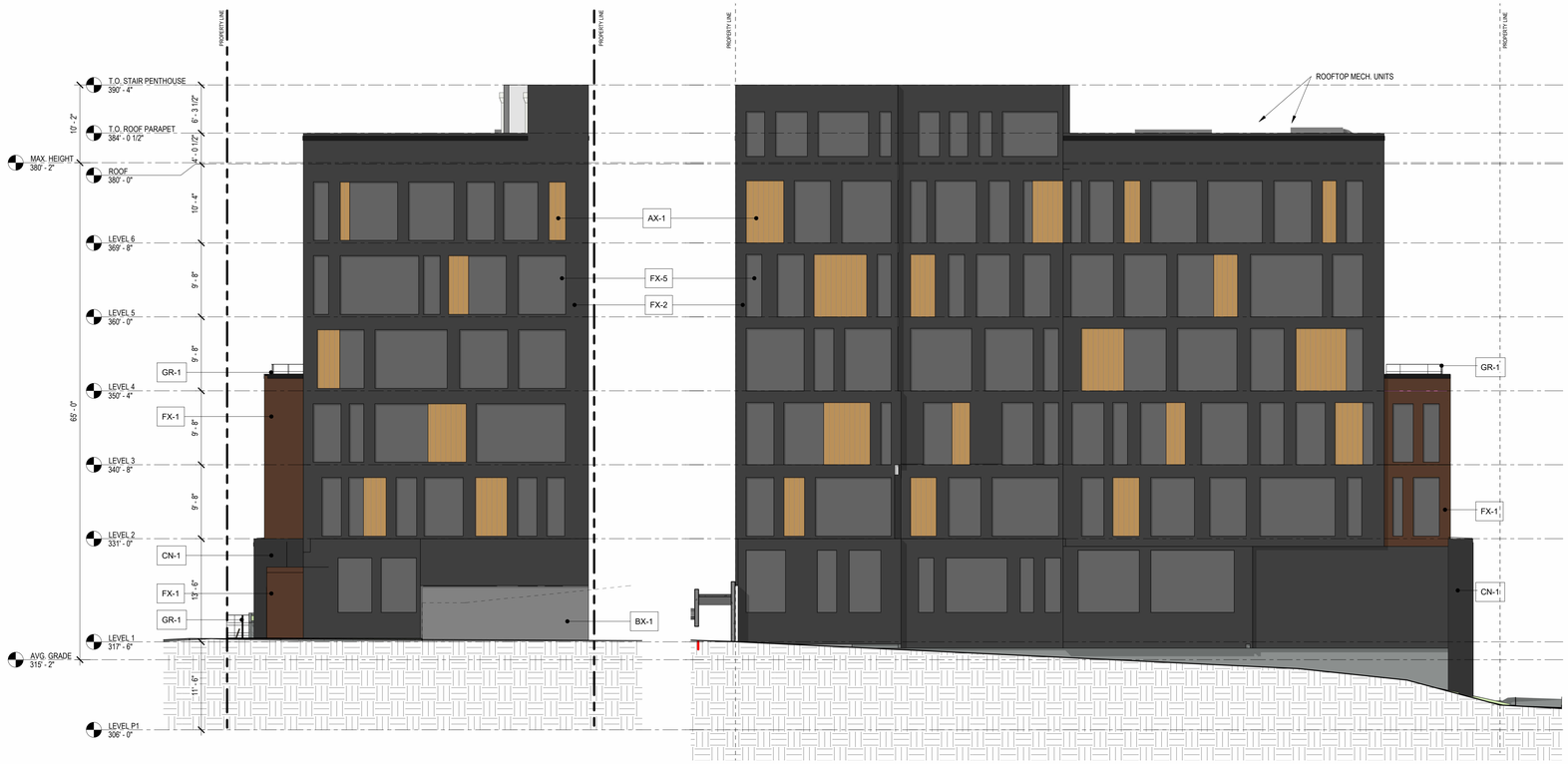
SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
EXTERIOR ELEVATIONS

SHEET NUMBER

A3.00



1 ELEVATION - NORTH

SCALE: 1/8" = 1'-0"

2 ELEVATION - WEST

SCALE: 1/8" = 1'-0"

MATERIALS LEGEND

ID.	DESCRIPTION	MATERIAL / COLOR
BX-1	BASE EXTERIOR 1	PAINTED CONCRETE
FX-1	FIELD/BODY EXTERIOR 1	RUSTED METAL SIDING
FX-2	FIELD/BODY EXTERIOR 2	FIBER CEMENT SIDING, PAINTED DARK GREY
FX-3	FIELD/BODY EXTERIOR 3	FIBER CEMENT SIDING, PAINTED WHITE
FX-4	FIELD/BODY EXTERIOR 4	FIBER CEMENT SIDING, PAINTED BLACK
FX-5	FIELD/BODY EXTERIOR 5	FIBER CEMENT SIDING, PAINTED LIGHT GREY
AX-1	ACCENT EXTERIOR 1	WOOD COMPOSITE CLADDING
GR-1	METAL GUARDRAIL	PRE-GALV STEEL, POWDER COATED GLOSS BLACK
CN-1	METAL CANOPY	GALVANIZED STEEL
VW-1	WINDOW FRAME	VINYL, WHITE
VW-2	WINDOW FRAME	VINYL, BLACK
ST-1	STOREFRONT FRAME	ALUMINUM, ANODIZED BLACK

DATE 3/20/2024 9:36:29 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
1	2/17/2023	MUP Revision#2
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4
4	10/20/2023	MUP Revision#5

SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
EXTERIOR ELEVATIONS

SHEET NUMBER

A3.01

NW

SW

NE

SE

AXISGFA
ARCHITECTURE + DESIGN
801 BLANCHARD ST STE 200
SEATTLE WA 98121
T 206.367.1382
W AXISGFA.COM

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

#3025500
BUILDING PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

△	SUBMITTAL / REVISION	DATE

JURISDICTIONAL APPROVAL STAMP

SHEET TITLE
3D VEWS

SHEET NUMBER
A3.10

CARON PROJECT NO. 22030

NORTHEAST (JEFFERSON ST & 16TH AVE)

NORTWEST (JEFFERSON ST & 16TH AVE)

SOUTHWEST (16TH AVE)

DATE 3/20/2024 9:36:40 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS

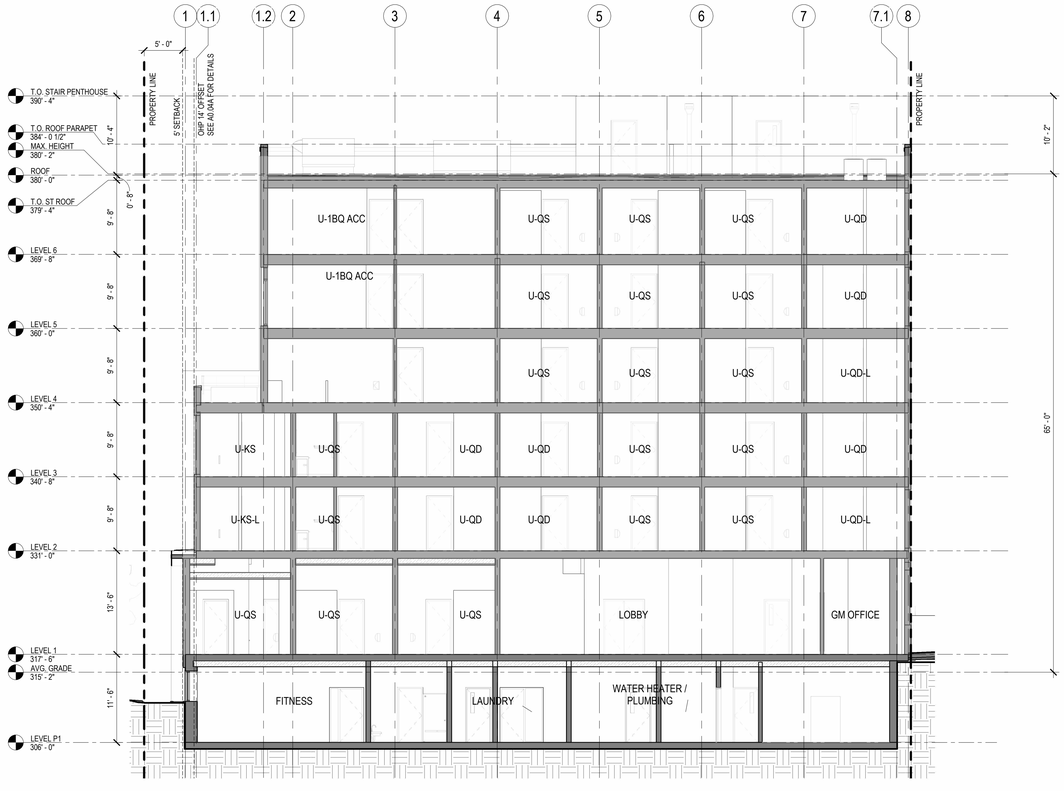
SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
STREET LEVEL RENDERINGS

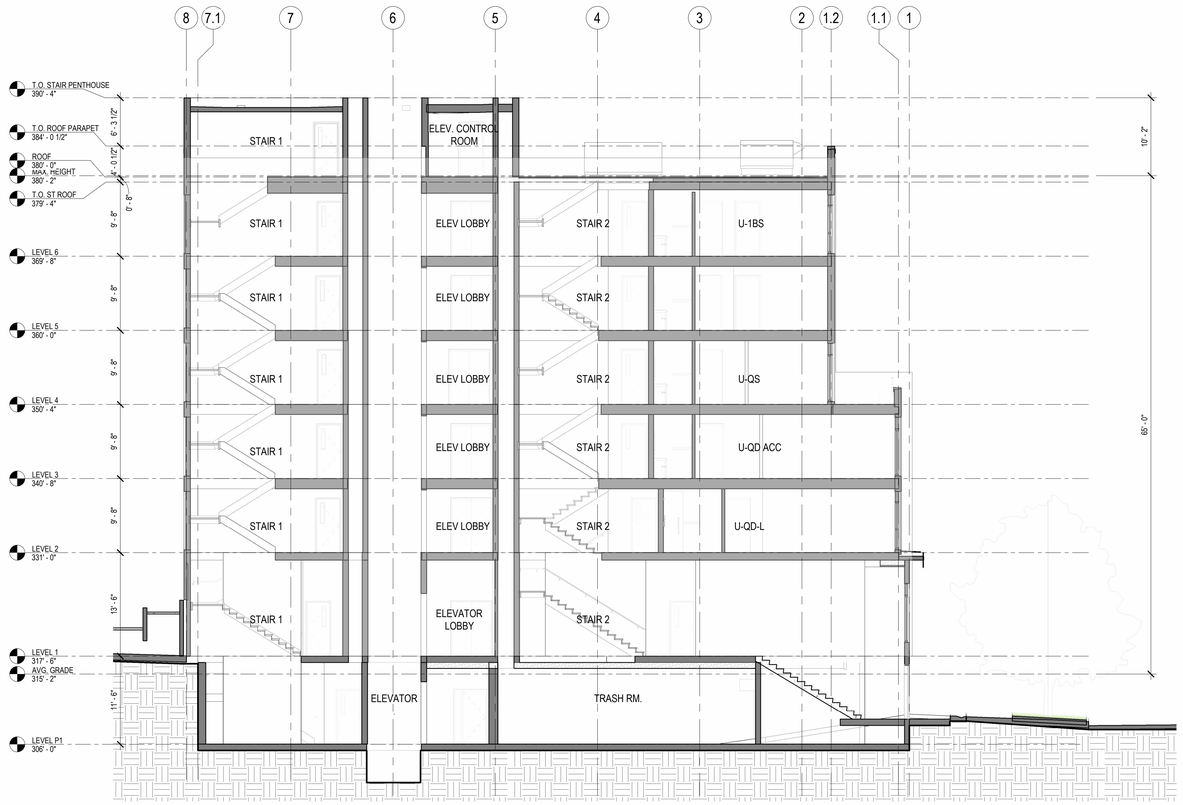
SHEET NUMBER

A3.11



1 SOUTH-NORTH BUILDING SECTION

SCALE: 1/8" = 1'-0"



2 NORTH-SOUTH BUILDING SECTION B

SCALE: 1/8" = 1'-0"

DATE 3/20/2024 9:36:48 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

	DATE	ISSUES & REVISIONS
1	2/17/2023	MUP Revision#2
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4
4	10/20/2023	MUP Revision#5

SCALE AS SHOWN

PROJECT NUMBER 22030

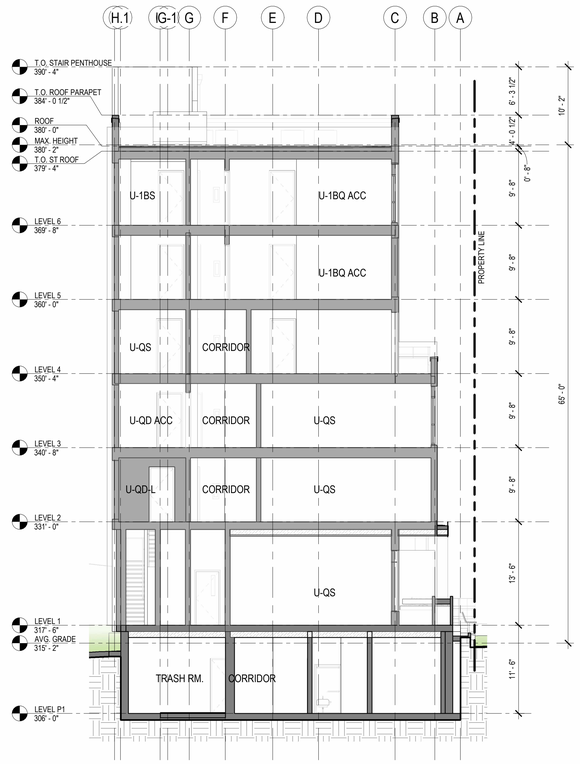
DESCRIPTION
BUILDING SECTIONS

SHEET NUMBER

A4.00

1 WEST - EAST SECTION A

SCALE: 1/8" = 1'-0"



2 WEST - EAST SECTION B

SCALE: 1/8" = 1'-0"

DATE 3/20/2024 9:36:54 PM

AXIS GFA
801 BLANCHARD ST, SUITE 200
SEATTLE, WA 98121
T 206.367.1382
F 206.367.1385
www.axisgfa.com

PROJECT NAME

CANDLEWOOD SUITES AT CHERRY HILL

505 16TH AVE
SEATTLE, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

3025500-LU

MASTER USE PERMIT

8192 REGISTERED ARCHITECT
RADIM BLAZEJ
STATE OF WASHINGTON

No.	DATE	ISSUES & REVISIONS
1	2/17/2023	MUP Revision#2
2	6/13/2023	MUP Revision#3
3	8/21/2023	MUP Revision#4
4	10/20/2023	MUP Revision#5

SCALE AS SHOWN

PROJECT NUMBER 22030

DESCRIPTION
BUILDING SECTIONS

SHEET NUMBER

A4.01

Candlewood Suites at Cherry Hill Shoring

505 16th Avenue
Seattle, WA 98122

Master Use Permit Set
03/20/2024

ABBREVIATIONS

@	AT
Ø	DIAMETER
#	POUND OR NUMBER
AAC	AUTOCLAVED AERATED CONCRETE
AB	ANCHOR BOLT
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
AITC	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ASD	ALLOWABLE STRESS DESIGN
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWS	AMERICAN WELDING SOCIETY
AWC	AMERICAN WOOD COUNCIL
BLKG	BLOCKING
BM	BEAM
BNDY	BOUNDARY
BN	BOUNDARY NAILING
BOT	BOTTOM
BRG	BEARING
BS	BOTH SIDES
BTWN	BETWEEN
CIP	CAST-IN-PLACE
CJ	CONSTRUCTION/CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
CLT	CROSS-LAMINATED TIMBER
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CONTR	CONTRACTOR
CSK	COUNTERSINK
CTR	CENTER
CVR	COVER
DBL	DOUBLE
DIAPH	DIAPHRAGM
DIM	DIMENSION
D	DEEP
DF	DOUGLAS-FIR
DT	PRE-ENGINEERED DRAG TRUSS
EA	EACH
EL	ELEVATION
ELEV	ELEVATOR
EMBED	EMBEDMENT
EN	END NAILING
ENGR	ENGINEER
EOR	ENGINEER OF RECORD
EQ	EQUAL
EQUIV	EQUIVALENT
EA FACE	EACH FACE
EA SIDE	EACH SIDE
EA WAY	EACH WAY
(E)	EXIST, EXISTING
ESR	ICC EVALUATION SERVICE REPORT
EXP	EXPANSION
EXT	EXTERIOR
FDN	FOUNDATION
FF	FINISH FLOOR
FFE	FINISH FLOOR ELEVATION
FOC	FACE OF CONCRETE
FOM	FACE OF MASONRY
FOS	FACE OF STUD
FS	FAR SIDE
FT	FEET
FTG	FOOTING
FT-LB	FOOT POUNDS
GA	GAGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GL	GLUE LAMINATED
GLB	GLUE LAMINATED BEAM
GR	GRADE
GT	PRE-ENGINEERED GIRDER TRUSS
GWB	GYPSUM WALL BOARD
HGR	HANGER
HDR	HEADER
HF	HEM-FIR
HSS	HOLLOW STRUCTURAL STEEL
HT	HEIGHT
HORIZ	HORIZONTAL
IBC	INTERNATIONAL BUILDING CODE
ICF	INSULATED CONCRETE FORM
IN	INCHES
INT	INTERIOR
JST	JOIST
JT	JOINT
K	KIPS = 1000 LBS
KSI	KILOPOUNDS PER SQUARE INCH
L	ANGLE
LBS	POUNDS
LVL	LEVEL
LVL	LAMINATED VENEER LUMBER
L&I	LABOR & INDUSTRIES DEPARTMENT
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LOC	LOCATE, LOCATION
LONGIT	LONGITUDINAL
LSL	LAMINATED STRAND LUMBER
MB	MACHINE BOLT
MECH	MECHANICAL
MTL	METAL
MFR	MANUFACTURER
MIN	MINIMUM
MC	MOISTURE CONTROL
MPH	MILES PER HOUR
NS	NEAR SIDE
NDS	NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION
NTS	NOT TO SCALE
NWT	NORMAL WEIGHT
OC	ON CENTER
OPP	OPPOSITE HAND
PAF	POWDER ACTUATED FASTENER
PC	PRE-CAST
PCF	POUNDS PER CUBIC FOOT
PERP	PERPENDICULAR
PL	PLATE
PLF	POUNDS PER LINEAR FOOT
PNL	PANEL
PRE-ENG	PRE-ENGINEERED
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PSL	PARALLEL STRAND LUMBER
PW	PLYWOOD
REF	REFERENCE
REINF	REINFORCEMENT
REQ'D	REQUIRED
RT	PRE-ENGINEERED ROOF TRUSS
SBC	SEATTLE BUILDING CODE
SCHED	SCHEDULE
SDCI	SEATTLE DEPARTMENT OF CONSTRUCTION & INSPECTIONS
SER	STRUCTURAL ENGINEER OF RECORD
SF	SQUARE FEET
SHTG	SHEATHING
SIM	SIMILAR
SIMP	SIMPSON STRONG-TIE
SOG	SLAB ON GRADE
SPCG	SPACING
SRC	SEATTLE RESIDENTIAL CODE
STD	STANDARD
STIFF	STIFFENER
STRUC	STRUCTURAL
SW	SHEAR WALL
SQ	SQUARE
T&G	TONGUE AND GROOVE
THK	THICK
THRD	THREADED
T&B	TOP & BOTTOM
TO	TOP OF
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TRANSV	TRANSVERSE
TRTD	TREATED
TS	TUBE STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VIF	VERIFY IN FIELD
WABO	WASHINGTON ASSOCIATION OF BUILDING OFFICIALS
W	WIDE
w/	WITH
w/o	WITHOUT
WF	WIDE FLANGE
WHS	WELDED HEADED STUD
WTS	WELDED THREADED STUD
WWF	WELDED WIRE FABRIC

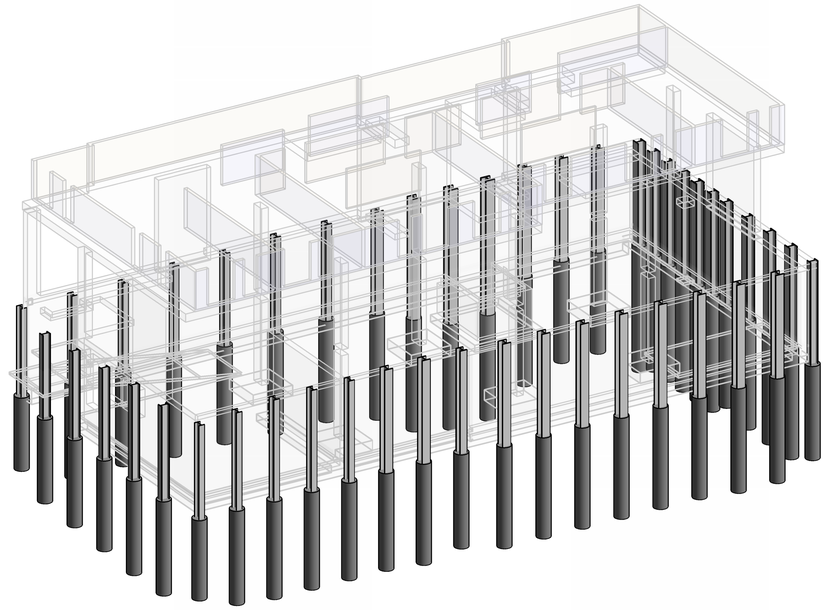
GRAPHIC SYMBOL LEGEND

- CONCRETE WALL (ABOVE)
- CONCRETE WALL (BELOW)
- CMU WALL (ABOVE)
- CMU WALL (BELOW)
- WOOD/CFS SHEAR WALL (ABOVE)
- WOOD/CFS STUD WALL (ABOVE)
- WOOD/CFS STUD WALL (BELOW)
- CONCRETE COLUMN (ABOVE)
- CONCRETE COLUMN (BELOW)
- WOOD POST (ABOVE)
- WOOD POST (BELOW)
- STEEL HSS COLUMN (ABOVE)
- STEEL HSS COLUMN (BELOW)
- STEEL WIDE FLANGE COLUMN (ABOVE)
- STEEL WIDE FLANGE COLUMN (BELOW)
- BEAM/JOIST
- BRACED FRAME BEAM
- GRID LINE
- CENTERLINE
- CONCRETE BY OTHERS (CUT)
- GRAVEL (CUT)
- EARTH (CUT)
- HDU# — SIMPSON TENSION TIE HOLDOWN
- K=1 — NUMBER OF KINGS PLUS TRIMMERS
- JOIST w/ HANGER
- JOIST SPAN
- EXTENT
- OVERFRAMING
- BLOCKED DIAPHRAGM
- C# — CONCRETE COLUMN TYPE
- SURFACE SLOPE PER ARCHITECT
- DETAIL REFERENCE NO. / SECTION CALLOUT / SHEET REFERENCE NO.
- DETAIL REFERENCE NO. / ELEVATION CALLOUT / SHEET REFERENCE NO.
- DETAIL REFERENCE NO. / DETAIL CALLOUT / SHEET REFERENCE NO.

AXONOMETRIC PROJECTION

AXONOMETRIC PROJECTION DISCLAIMER:

1. 3D VIEWS INCLUDING AXONOMETRIC PROJECTIONS, PERSPECTIVES, ETC, ARE PROVIDED FOR REFERENCE PURPOSES ONLY. IN THE EVENT OF ANY DISCREPANCIES BETWEEN INFORMATION REPRESENTED BY BOTH A 3D VIEW AND A NON-3D VIEW WITHIN THE CONSTRUCTION DOCUMENTS, THE NON-3D VIEW SHALL GOVERN IN ALL CASES.
2. INFORMATION REPRESENTED BY 3D VIEWS, BUT NOT REPRESENTED ELSEWHERE IN THE CONSTRUCTION DOCUMENTS IS NOT INTENDED TO BE PART OF THE CONSTRUCTION DOCUMENTS.



SHEET INDEX - SHORING

SHEET NUMBER	SHEET NAME
SH000	SHORING TITLE SHEET
SH001	SHORING GENERAL NOTES & DETAILS
SH110	SHORING PLAN
SH201	SHORING ELEVATIONS

DATE 3/20/2024 12:44:21 PM

LUND OPSAHL
1215 Fourth Avenue, Suite 1200
Seattle, Washington 98161
206-402-5156 www.lundopsahl.com

PROJECT NAME

Candlewood Suites at Cherry Hill Shoring

505 16th Avenue
Seattle, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

FOR REFERENCE ONLY

3025500-LU
MASTER USE PERMIT SET

SHAWN ROBERTSON — STATE OF WASHINGTON — 47548 — STRUCTURAL ENGINEER — PROFESSIONAL ENGINEER
12/04/2023

	DATE	ISSUES & REVISIONS
1	12/04/2023	BP Correction #1
2	03/01/2024	BP Correction #2

SCALE AS SHOWN

PROJECT NUMBER 23-145-01

DESCRIPTION
SHORING TITLE SHEET

SHEET NUMBER
SH000

GENERAL REQUIREMENTS

SUMMARY OF WORK
Project consists of construction of a temporary shoring system as shown on these Contract Documents used in coordination with the Architectural and other discipline's documents.

GOVERNING CODE
All design and construction shall conform to the 2015 Internation Building Code and local jurisdiction amendments..

Reference to ASTM and other standards shall refer to the latest edition designated by IBC Chapter 35. Refer to the specifications for information in addition to that covered by these Structural notes and drawings.

DOCUMENTS
Structural Documents shall be used in conjunction with Architectural and Civil Documents for all bidding and construction.

Drawings indicate general and typical details of construction. Typical details and general notes shall apply even if not specifically denoted on plans, UNO. Where conditions are not specifically indicated similar details of construction shall be used, subject to review and approval by the SER.

Existing structural information, designated as (E) on the Structural drawings, has been compiled from information furnished by various sources and is not necessarily field-verified by the engineer. Dimensions relating to existing structures are intended for use as guidelines only; all dimensions shall be field-verified by the contractor prior to start of construction.

These Contract Documents and any materials used in preparation of them, including calculations, are the exclusive property of the SER and can be reproduced only with the permission of the SER.

WARRANTY
The SER has used that degree of care and skill ordinarily exercised under similar circumstances by members of the profession in this locale and no other warranty, either expressed or implied, is made in connection with rendering professional services.

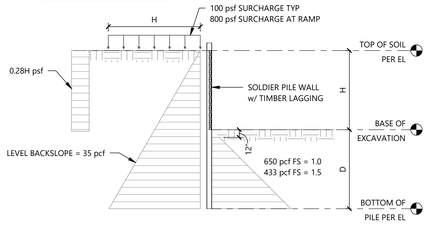
OWNER RESPONSIBILITY
The owner shall retain a Special Inspector to perform the special inspection requirements required by the building official and as outlined in the Special Inspection section below.

DESIGN CRITERIA

REFERENCE DOCUMENTS
The recommendations for lateral soil pressure provided in the report listed below were used for the design of shoring:
Geotechnical Engineering Investigation
prepared by Merit Engineering (August 17, 2016, revised February 21, 2024)

DESIGN CRITERIA
Refer to load diagram.

CANTILEVER CONDITION



Active Pressure **Passive Pressure**

NOTES:
1. Embedment 'D' should be determined by summation of moments at the bottom of the soldier piles. Minimum embedment should be at least ten feet.
2. A factor of safety of 1.5 has been applied to the recommended passive earth pressure value. No factor of safety has been applied to the recommended active earth pressure values.
3. Active and surcharge pressures should be applied over the full width of the pile spacing above the base of the excavation and over one pile diameter below the base of the excavation.
4. Passive pressure should be applied to two times the diameter of the soldier piles.
5. Refer to report text for additional discussions.

CONTRACTOR PERFORMANCE REQUIREMENTS

EXISTING CONDITIONS
Prior to construction, the contractor shall complete a written and photographic log of all existing structures as described in the specification. A licensed surveyor shall document all existing substantial cracks in adjacent streets, sidewalks and existing structures.

The contractor shall verify dimensions of existing structures in the field and shall notify the architect of all field changes prior to fabrication and installation.

The contractor shall coordinate the location of all utilities with the use of a utility location service. If the actual field verified location of utilities could result in a conflict with the shoring, the design engineer shall be notified immediately. Street utilities have not been coordinated. Contractor to locate and coordinate prior to installation.

DESIGN DOCUMENTS
Contractor shall verify all dimensions and all conditions at the job site, including building and site conditions before commencing work, and be responsible for same. All discrepancies shall be reported to the Architect before proceeding with work. Any errors, ambiguities and/or omissions in the contract documents shall be reported to the Architect immediately, in writing. No work is to be started before correction is made.

Contractor shall verify and/or coordinate location of all items needing to penetrate or coordinate with the shoring wall system. Refer to contract drawings for all dimensions.

Do not scale drawings. Use only field verified dimensions. When electronic plan files are provided for the contractor's detailing convenience, it shall be noted that the electronic files are not guaranteed to be dimensionally accurate. The contractor uses them at his own risk. The published paper documents are the controlling Contract Documents. Electronic files of detail sheets and notes will not be provided.

CONTRACTOR-INITIATED CHANGES
Contractor-initiated changes shall be submitted in writing to the Architect for review and acceptance prior to fabrication or construction. Changes shown on shop drawings only will not satisfy this requirement.

INSPECTIONS
The contractor shall coordinate with the building department for all building department required inspections.

TEMPORARY SHORING AND BRACING
The contractor shall provide temporary bracing as required until all permanent connections and stiffening have been installed. The contractor is responsible for the strength and stability of all partially completed structures including but not limited to concrete or masonry walls, steel framing and erection aids. The contractor shall at his discretion employ the aid of a licensed structural engineer to design all temporary bracing and shoring necessary to complete the work described in these contract documents. The contractor shall be responsible for all required safety standards, safety precautions and the methods, techniques, sequences or procedures required in performing his work. For concrete construction refer to ACI 318 - Section 6.2 "Removal of Forms, Shores, and Reshores".

SAFETY PROCEDURES
Contractor shall be responsible for all safety precautions and the methods, techniques, sequences or procedures required to perform the contractor's work. The Structural Engineer has no overall supervisory authority or actual and/or direct responsibility for the specific working conditions at the site and/or for any hazards resulting from the actions of any trade contractor. The Structural Engineer has no duty to inspect, supervise, note, correct, or report any health or safety deficiencies to the owner, contractors, or other entities or persons at the project site. Contractor is responsible for maintaining appropriate clearances from utilities as required by the local jurisdictions.

SHOP DRAWINGS AND SUBMITTALS

SUBMITTAL REVIEW
The contractor must review and stamp the submittals for review. SER will only review submittals for items shown on SER documents. Review of submittals does not constitute approval or acceptance of unauthorized deviation from Contract Documents.

Corrections or comments made on shop drawings during this review do not relieve contractor from compliance with the requirements of the plans and specifications.

Contractor responsible for:
- Reviewing, approving, stamping and signing submittals prior to submittal to Architect and SER
- Timing submittals to allow two weeks of review time for the SER and time for corrections and/or resubmittal
- Conformance to requirements of the Contract Documents
- Dimensions and quantities
- Verifying information to be confirmed or coordinated
- Information solely for fabrication, safety, means, methods, techniques and sequences of construction
- Coordination of all trades
- Shoring monitoring reports every week

Resubmittals shall be clouded and dated for all changes to the submittal. Only clouded portions of resubmittal will be reviewed and SER's review stamp applies to only these areas.

SUBSTITUTIONS
Substitutions shall be submitted in writing prior to material submittals. Submittals bearing substitutions will be rejected. Submit engineering data to substantiate the equivalence of the proposed items. The SER's basic services contract does not include review of substitutions that require re-engineering of the item or adjacent structure. Nor does the SER's contract cover excessive review of proposed substitutions. The fees for making these reviews and/or redesign shall be paid by the contractor. Reviews and approvals shall not be made until authorization is received.

SUBMITTALS
Material submittals shall be submitted to the Architect and SER prior to any fabrication or construction for the following structural items. Submittals shall include one reproducible and one copy; reproducible will be marked and returned. If deviations, discrepancies, or conflicts between shop drawings submittals and the contract documents are discovered either prior to or after shop drawing submittals are processed by the SER, the Contract Documents control and shall be followed.

- Construction sequence description
- Contractor Quality Control testing procedures when required in specifications
- Concrete mix designs
- Fabrication shop AISC Certification
- Structural steel mill certificates shall be available upon request
- Welding Procedure Specifications
- Shoring monitoring results

INSPECTIONS

INSPECTIONS BY BUILDING OFFICIAL
The building official, upon notification, shall make structural inspections as required by local ordinance. The inspection by the building official per IBC Section 110 will be separate from and in addition to the special inspection and structural observation mentioned subsequently.

SPECIAL INSPECTIONS
A Special Inspector shall be hired by the owner to perform the following special inspections per IBC Section 1704. See the specifications for additional requirements for special inspection and testing. The architect, structural engineer, and building department shall be furnished with copies of all inspection reports and test results.

See IBC Chapter 17: "Structural Tests and Special Inspections" for more detailed requirements.

SPECIAL INSPECTIONS AND TESTS OF CAST-IN-PLACE DEEP FOUNDATION ELEMENTS (PER IBC 1705.8)

Verification and Inspection	Frequency		Reference
	Continuous	Periodic	
Observe drilling operations and maintain complete and accurate records for each element	X		
Verify placement locations and plumbness, confirm element diameters, bell diameters (if applicable), lengths, embedment into bedrock (if applicable), and adequate end-bearing strata capacity. Record concrete or grout volumes	X		
For concrete elements: perform additional inspections in accordance with section 1705.3			

SPECIAL INSPECTIONS AND TESTS OF SOILS (PER IBC 1705.6)

Verification and Inspection	Frequency		Reference
	Continuous	Periodic	
Verify materials below shallow foundations are adequate to achieve the design bearing capacity		X	
Verify that excavations are extended to proper depth and have reached proper material		X	
Perform classification and testing of compacted fill materials		X	
Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill	X		
Prior to placement of compacted fill, observe subgrade and verify that site has been prepared properly		X	

SPECIAL INSPECTIONS AND TESTS OF CONCRETE CONSTRUCTION (PER IBC 1705.3)

Verification and Inspection	Frequency		Reference
	Continuous	Periodic	
At the time fresh concrete is sampled to fabricate specimens for strength tests, perform slump and air content tests, and determine the temperature of the concrete	X		IBC 1910.10 ACI 318: 5.6, 5.8 ASTM C172, C31 Seattle DPD DR 20-2006
Inspection of concrete and shotcrete placement for proper application techniques	X		IBC 1910.6-8 ACI 318: 5.9, 5.10

SPECIAL INSPECTIONS OF STRUCTURAL STEEL CONSTRUCTION OTHER THAN SEISMIC LATERAL FORCE RESISTING SYSTEMS (PER IBC 1705.2.1)

Verification and Inspection	Frequency		Reference
	Cont.	Periodic	
Inspection of fabricator's quality control procedures		X	IBC 1704.2.5 AISC 360-N.2
Review of material test reports and certifications listed in AISC section N3.2	X		AISC 360-N.5.2
Inspection of welding structural steel:	Per AISC 360 tables N5.4-1-3		AISC 360-N.5.4 AISC 360-N.5.5 AWS D1.1
Nondestructive testing of welded joints	Per AISC 360 N5.5		AISC 360-N5.5 AWS D1.1
Inspection of high-strength bolting	Per AISC 360 tables N5.6-1-3		AISC 360-N.5.6
Inspect the fabricated steel or erected steel frame to verify compliance with the details shown on the construction documents		X	AISC 360-N.5.7
Inspection during the placement of anchor rods and other embedments supporting structural steel	X		AISC 360-N.5.7
Inspection of composite construction, including placement of steel deck and steel headed stud anchors	Per AISC 360 table N6.1		AISC 360-N.6 AWS D1.3

CONCRETE

CONCRETE STRENGTH
Concrete called out as structural concrete shall have a 28 day compressive strength of f'c = 3,000psi.
Use structural concrete in embedded portion of pile below bottom of excavation.

LEAN MIX
All CDF shall have a minimum of 1-1/2 sack (141 lbs) of cement per cubic yard of concrete. Type I, II, or III Portland Cement conforming to ASTM C150 / AASHTO M85 shall be used for CDF.

Admixtures shall conform to the requirements of ASTM C49 / AASHTO M194, shall be used in accordance with the manufacturer's recommendations, and shall be approved by engineer.

Aggregates shall conform to the requirements of ASTM C33 / AASHTO M6 for fine aggregates and AASHTO M80, class B for coarse aggregates.

STRUCTURAL STEEL

REFERENCE STANDARDS
Steel construction shall conform to the latest editions of the AISC Specifications and Codes. "Specification for Structural Steel Buildings" ANSI/AISC 360 (latest edition), "Specification for Structural Joints Using ASTM A-325 or A-490 Bolts" AISC 348 (latest edition) and "Code of Standard Practice for Steel Buildings and Bridges" AISC 303 (latest edition) amended by the deletion of paragraph 4.4.1.

FABRICATORS
Fabricators for structural steel must have a quality assurance program in place and participation in the AISC quality certification program.

FINISHING
The terms finish, finish column, finishing, milled, milled surface or milling are intended to include surfaces which have been accurately sawed or finished to a true plane as defined by AISC.

Grind surface value equal to or less than 1,000 as defined by ANSI B46.2 (4-inch and thinner).

STRUCTURAL STEEL MEMBERS
Structural Steel shall conform to the following requirements (unless otherwise shown on plans):

STRUCTURAL STEEL MEMBER SPECIFICATIONS TABLE (SHORING)

Type of Member	ASTM Specification	Fy
Rolled wide-flange shapes	A992	50 ksi
Steel pipes	A53, Grade B	35 ksi
Plates, channels, angles	A36, Grade 36	36 ksi

WELDING
All welding shall be in conformance with AISC and AWS standard and shall be performed by WABO certified welders using E70XX Electrodes in accordance with AWS D1.1. Only prequalified welders, as defined by WABO, shall be used.

Shop drawings shall show all welding with AWS D1.4 symbols. Welds shown on the drawings are the minimum sizes. Increase weld size to AWS minimum sizes, based on plate thickness. Minimum welding shall be 3/16" UNO. All welds shall be made using low-hydrogen electrodes with minimum tensile strength of 70 ksi and a Charpy V-Notch (CVN) toughness of at least 20 foot-pounds at -20° Fahrenheit.

Low hydrogen SMAW electrodes shall be used within 4 hours of opening their hermetically sealed containers, or shall be re-dried per AWS D1.1. Electrodes shall be re-dried no more than one time, and electrodes that have been wet shall not be used.

Welding procedures shall be submitted to the owner's testing agency for review prior to commencement of fabrication or erection. All complete-penetration welds shall be ultrasonically tested upon completion of the connection except plate less than or equal to 1/4" thick shall be magnetic particle tested. Complete penetration welds on plates less than or equal to 1/4" shall be magnetic particle tested. Reduction in testing shall be made in accordance with the Building Code and with approval from the SER.

Field welds shown are engineer's recommendation. Contractor is responsible for actual welds used to support specific means and methods.

BOLTS
All bolt holes shall be standard size, unless noted otherwise. All ASTM A-307 bolts shall be provided with lock washers under nuts or self-locking nuts.

LAGGING

LAGGING MATERIAL
All wood used for lagging shall conform to "Grading and Dressing Rules," West Coast Lumber Inspection Bureau, latest edition. Minimum grade shall be douglas-fir #2.

All wood framing in direct contact with soil, concrete or exposed to weather shall be pressure-treated with an approved preservative per IBC Section 2303.1.8.

PROCEDURES

INSTALLATION OF DRILLED SOLDIER PILES
The minimum required structural steel W-shapes for the soldier piles are indicated on the plans. Alternate pile sections may be proposed provided the process is in accordance with the requirements in the substitution section. The Contractor shall be responsible for the coordination of details regarding any alternate pile sections.

The Contractor shall be responsible for the coordination of details with regard to actual placement tolerances.

Shafts shall be constructed so that the center at the top of the shaft is within +/- 1" of the plan location. Shafts shall be plumb within +/- 1% of their lengths. The elevation at the top of shaft shall be +/- 1" from the plan location. During construction for the shafts, the contractor shall make frequent checks on the plumbness, alignment, or dimensions of the shafts. Any deviation exceeding the allowable tolerances shall be corrected immediately.

The steel soldier piles shall be placed so that the center line of the piles is within +/- 1" of the plan location. Steel soldier piles shall be plumb within +/- 1% of their lengths. The top elevation of the steel soldier pile shall be within +/- 1" of the plan elevation.

Shafts shall be excavated to the required depth as shown on the plans. The excavation shall be completed in a continuous operation using equipment capable of excavating through the type of material expected to be encountered.

Where caving conditions are encountered, the contractor shall select a method to prevent ground movement. Temporary casings for the shafts shall be removed. A minimum 5'-0" head of concrete must be maintained to balance the soil and water pressure at the bottom of the casing during removal. The casing shall be smooth.

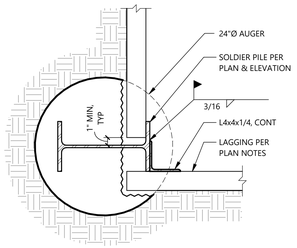
Shaft concrete shall be placed as shown on the plans and shall commence within 2 hours after completion of the excavation. Shaft concrete shall be placed in one continuous operation to the top of the shaft. If soil conditions allow, pending approval of the geotechnical engineer, maximum time between shaft excavation and concreting may be increased.

If no more than 12" of water is present, the concrete shall be deposited by a method which prevents aggregate segregation. The Contractor's method for depositing concrete shall be approval of the Engineer prior to concrete placement.

If more than 12" of water is present, the concrete shall be deposited by tremie placement methods.

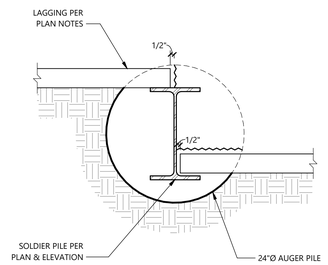
INSTALLATION OF LAGGING
Timber lagging shall be installed at shoring walls. Voids between lagging and soil shall be back filled immediately after lagging installation with clean sand and gravel approved by the geotechnical engineer. Drainage behind the wall shall be maintained. It is the contractor's responsibility to limit the amount of exposed soil without lagging to avoid loss of soil. Excavation must proceed in a manner as to not expose more than 4'-0" of soil prior to the installation of lagging.

SHORING REMOVAL
Cut piles off below grade per documents.



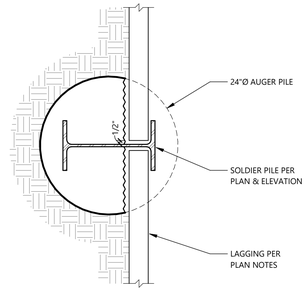
Plan View

5 SOLDIER PILE AT CORNER (90°)
Scale: 1 1/2" = 1'-0"



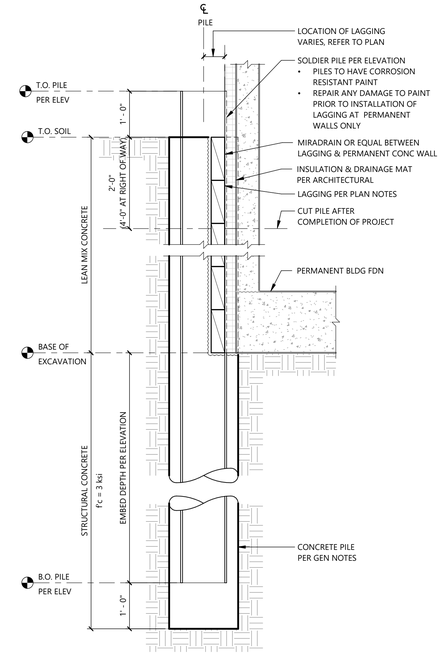
Plan View

7 SOLDIER PILE AT WALL JOG
Scale: 1 1/2" = 1'-0"



Plan View

4 TYPICAL SOLDIER PILE
Scale: 1 1/2" = 1'-0"



8 PILE SECTION AT CONCRETE WALL
Scale: 3/4" = 1'-0"

LUND OPSAHL
1215 Fourth Avenue, Suite 1200
Seattle, Washington 98161
206-402-5156 www.lundopsahl.com

PROJECT NAME

Candlewood Suites at Cherry Hill Shoring

505 16th Avenue
Seattle, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

FOR REFERENCE ONLY

3025500-LU

MASTER USE PERMIT SET

SHAWN ROBERTS — STATE OF WASHINGTON — 47548 — REGISTERED PROFESSIONAL ENGINEER
12/04/2023

	DATE	ISSUES & REVISIONS
1	12/04/2023	BP Correction #1
2	03/01/2024	BP Correction #2

SCALE AS SHOWN

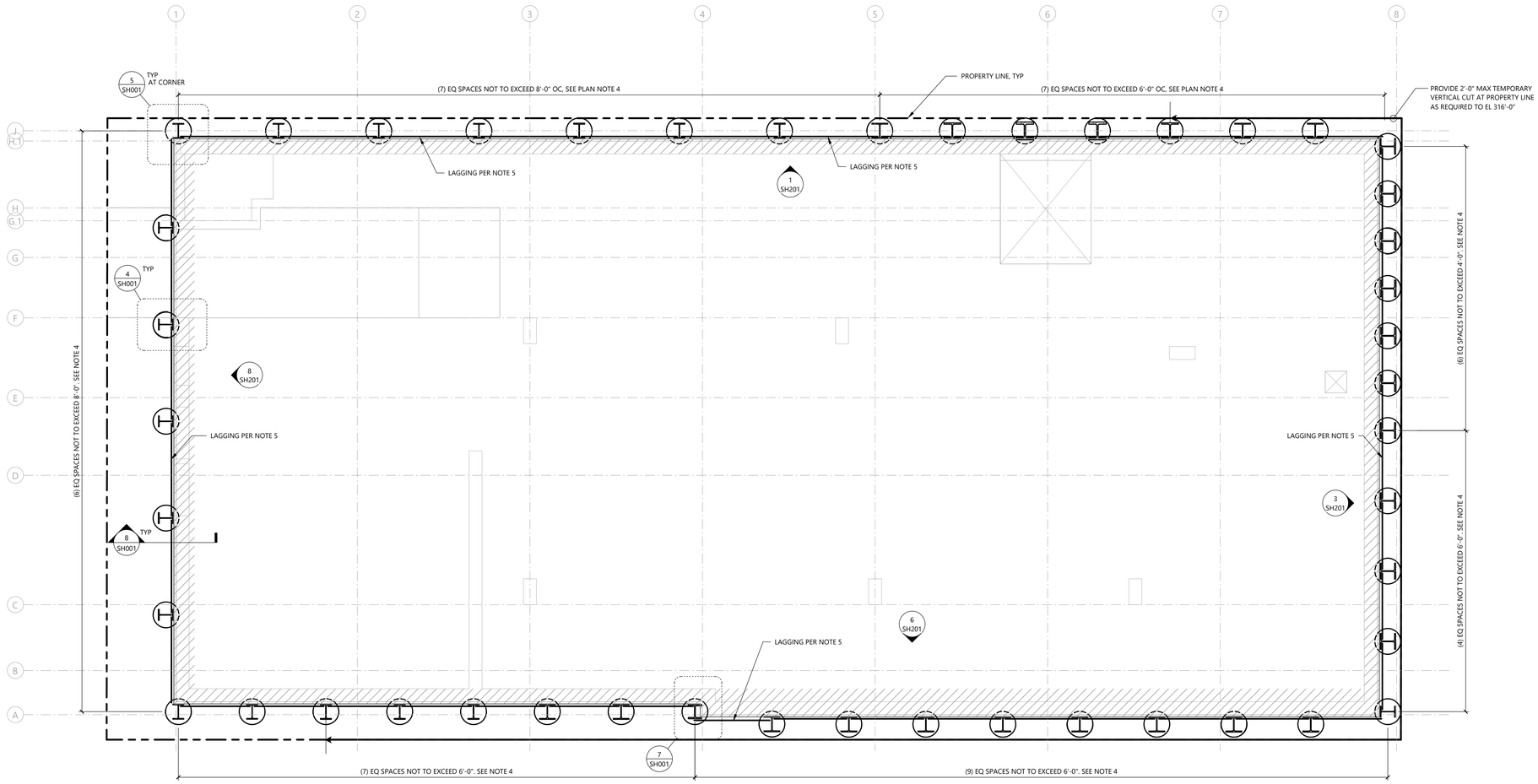
PROJECT NUMBER 23-145-01

DESCRIPTION
SHORING GENERAL NOTES & DETAILS

SHEET NUMBER

SH001

DATE 3/20/2024 12:44:21 PM



1 SHORING PLAN
Scale: 1/4" = 1'-0"

North

SHORING PLAN NOTES

1. ALL SEWER AND STORM LINES IN THE RIGHT-OF-WAY WITHIN 10 FEET (OR WITHIN 20 FEET IF SUCH LINES ARE 30 FEET OR MORE OFF SITE PROPERTY LINE) OF ANY PROPOSED SHORING ELEMENT AND THE JOB SITE SHALL BE VIDEOTAPED OF PRE-PROJECT CONDITION AND A COPY SENT TO ALBERT PONIO OF SPU PRIOR TO PRE-CONSTRUCTION MEETING.
2. A PRE-CONSTRUCTION MEETING WITH SDOT SHORING REVIEW AND INSPECTION, SEPARATE FROM ANY SDCI PRE-CONSTRUCTION MEETING, WILL BE REQUIRED PRIOR TO THE START OF EXCAVATIONS ADJACENT TO THE PUBLIC RIGHT-OF-WAY.
3. SHORING IS DESIGNED FOR SURCHARGE LOAD OF 100 PSF. IF EQUIPMENT DURING CONSTRUCTION IS TO EXCEED THIS, COORDINATE WITH EOR PRIOR TO USE.
4. DRILLED HOLES SHALL BE 24"Ø, TYPICAL.
5. LAGGING SHALL BE 4x12 DF #2 UNLESS NOTED OTHERWISE.
6. BASE OF EXCAVATION ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL COORDINATE BOTTOM OF EXCAVATION ELEVATIONS WITH CIVIL AND STRUCTURAL DRAWINGS.
7. TEMPORARY SHORING WALL SHALL REMAIN UNTIL PERMANENT STRUCTURE, INCLUDING FLOOR SLAB, IS COMPLETE UP TO FINAL GRADE AND HAS ATTAINED SPECIFIED DESIGN STRENGTH.

SHORING MONITORING NOTES

MONITORING OF THE SHORING SYSTEM SHALL INCLUDE MEASUREMENTS OF VERTICAL AND HORIZONTAL MOVEMENTS OF EACH SOLDIER PILE. THE MEASURING SYSTEM SHALL HAVE AN ACCURACY OF AT LEAST 0.01 FEET. THE MONITORING PROGRAM SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER, SER, ARCHITECT AND CONTRACTOR BUT, AT A MINIMUM, SHALL INCLUDE THE FOLLOWING:

1. A LICENSED SURVEYOR, NOT THE CONTRACTOR, MUST DO THE SERVEYING AT LEAST ONCE A WEEK.
2. MONITORING POINTS SHALL CONSIST OF RODS OR BOLTS EMBEDDED INTO THE OBJECT OF INTEREST OR CROSS-HAIRS INSCRIBED ONTO A PLATE THAT IS ATTACHED TO THE OBJECT OF INTEREST.
3. MONITORING POINTS SHALL BE ESTABLISHED AT THE TOP OF THE SHORING WALLS AND SPACED NO FURTHER THAN AT EVERY OTHER SOLDIER PILE ALONG THE WALL LENGTH, AS WELL AS ON ALL EXISTING STRUCTURES THAT ARE SENSITIVE TO MOVEMENT AND WITHIN A DISTANCE EQUAL TO THE FINAL HEIGHT OF THE EXCAVATION FROM THE EDGE OF THE EXCAVATION, OR AS DESIGNATED BY THE ARCHITECT OR SER.
4. MONITORING POINTS ESTABLISHED ALONG THE CURB LINE AND CENTERLINE OF ADJACENT ROADWAYS NEED TO BE MONITORED WHEN TOTAL WALL MOVEMENTS REACH 0.5" OR AT SDOT REQUEST.
5. ADDITIONAL MONITORING POINTS MAY BE ESTABLISHED AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. REFERENCE POINTS FOR HORIZONTAL MOVEMENT SHOULD ALSO BE SELECTIVELY PLACED AT VARIOUS LEVELS AS THE EXCAVATION PROGRESSES.
6. READINGS SHALL BE TAKEN AND REPORTED AT LEAST TWICE PER WEEK DURING SHORING INSTALLATION AND EXCAVATION, WITH ONE READING PER WEEK BEING PERFORMED BY A LICENSED LAND SURVEYOR.
7. PER SDOT REQUIREMENTS: SUBMIT MONITORING RESULTS, INCLUDING BASELINE READINGS, ONCE EVERY WEEK TO SDOT.
8. LICENSED SURVEYOR SHALL ESTABLISH A BASELINE READING OF A LL MONITORING POINTS ON THE GROUND SURFACE AND SETTLEMENT-SENSITIVE STRUCTURES BEHIND THE SHORING WALL ALIGNMENT PRIOR TO DEWATERING, EXCAVATION, AND INSTALLATION OF THE SHORING SYSTEMS.
9. SURVEY FREQUENCY CAN BE DECREASED AFTER THE SHORING SYSTEM HAS BEEN INSTALLED AND EXCAVATION IS COMPLETE IF THE DATA INDICATES LITTLE OR NO ADDITIONAL MOVEMENT. SURVEYING MUST CONTINUE UNTIL THE PERMANENT STRUCTURE (INCLUDING FLOOR SLABS AS BRACES) IS COMPLETE UP TO FINAL AND STREET GRADES. THE SURVEY FREQUENCY WILL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AFTER REVIEW AN APPROVAL BY SDCI AND SDOT.
10. THE GEOTECHINCAL ENGINEER SHALL REVIEW SURVEY DATA AND PROVIDE AND EVALUATION OF WALL PERFORMANCE ALONG WITH SURVEY DATA TO SDCI AND SDOT ON AT LEAST A WEEKLY BASIS. IMMEDIATELY AND DIRECTLY, NOTIFY SDCI AND SDOT IF ANY UNUSUAL OR SIGNIFICANT INCREASED MOVEMENT OCCURS.
11. IMMEDIATELY AND DIRECTLY NOTIFY THE GEOTECHNICAL AND STRUCTURAL ENGINEERS, WALL DESIGNER, SDCI, AND SDOT IF 0.5 INCHES OF MOVEMENT OCCURS BETWEEN TWO CONSECUTIVE READINGS AND WHEN TOTAL MOVEMENTS REACH 0.5 INCHES. AT THAT AMOUNT OF MOVEMENT, THE ENGINEERS AND DESIGNERS SHALL DETERMINE THE CAUSE OF DISPLACEMENT AND DEVELOP REMEDIAL MEASURES SUFFICIENT TO LIMIT TOTAL WALL MOMENTS TO 1 INCH. ALL EARTHWORK AND CONSTRUCTION ACTIVITIES MUST BE DIRECTED TOWARDS IMMEDIATE IMPLEMENTATION OF REMEDIAL MEASURES NECESSARY TO LIMIT TOTAL WALL MOVEMENTS TO WHAT HAS BEEN DEFINED AS ACCEPTABLE BY THE DESIGN TEAM AND SDOT (AS INDICATED ABOVE).

DATE 3/20/2024 12:44:22 PM

LUND OPSAHL
1215 Fourth Avenue, Suite 1200
Seattle, Washington 98161
206-402-5156 www.lundopsahl.com

PROJECT NAME

Candlewood Suites at Cherry Hill Shoring

505 16th Avenue
Seattle, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

FOR REFERENCE ONLY

3025500-LU
MASTER USE PERMIT SET

SHAWN ROBERTS — STATE OF WASHINGTON — 47548 — STRUCTURAL ENGINEER — PROFESSIONAL ENGINEER
12/04/2023

	DATE	ISSUES & REVISIONS
1	12/04/2023	BP Correction #1

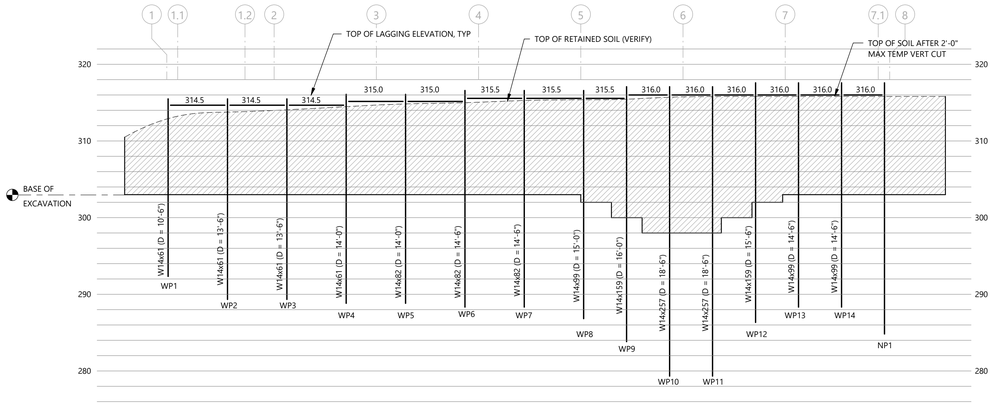
SCALE AS SHOWN

PROJECT NUMBER 23-145-01

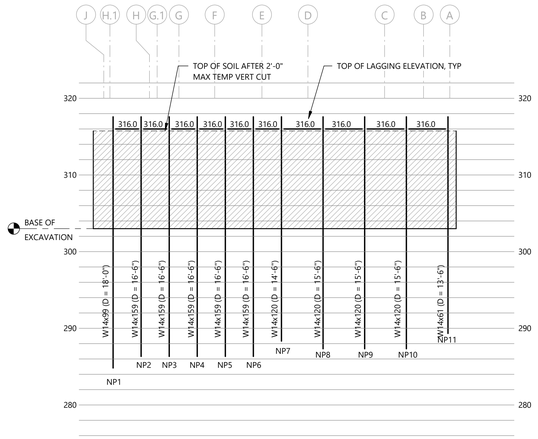
DESCRIPTION
SHORING PLAN

SHEET NUMBER

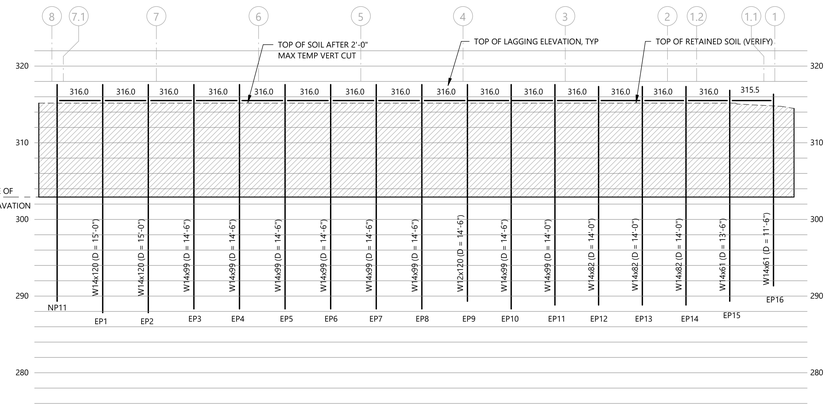
SH110



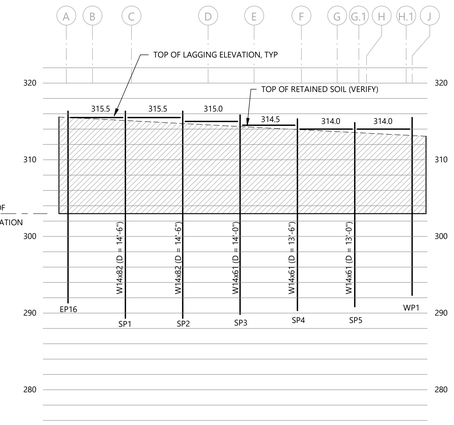
1 WEST SHORING ELEVATION
Scale: 1/8" = 1'-0"



3 NORTH SHORING ELEVATION
Scale: 1/8" = 1'-0"



6 EAST SHORING ELEVATION
Scale: 1/8" = 1'-0"



8 SOUTH SHORING ELEVATION
Scale: 1/8" = 1'-0"

DATE 3/20/2024 12:44:22 PM

LUND OPSAHL
1215 Fourth Avenue, Suite 1200
Seattle, Washington 98161
206-402-5156 www.lundopsahl.com

PROJECT NAME

Candlewood Suites at Cherry Hill Shoring

505 16th Avenue
Seattle, WA 98122

OWNER NAME

PERFECT WEALTH INVESTMENT LLC

FOR REFERENCE ONLY

3025500-LU

MASTER USE PERMIT SET

SHAWN ROBERTS
STATE OF WASHINGTON
47548
REGISTERED ARCHITECT
PROFESSIONAL ENGINEER
12/04/2023

	DATE	ISSUES & REVISIONS
1	12/04/2023	BP Correction #1

SCALE AS SHOWN

PROJECT NUMBER 23-145-01

DESCRIPTION
SHORING ELEVATIONS

SHEET NUMBER

SH201